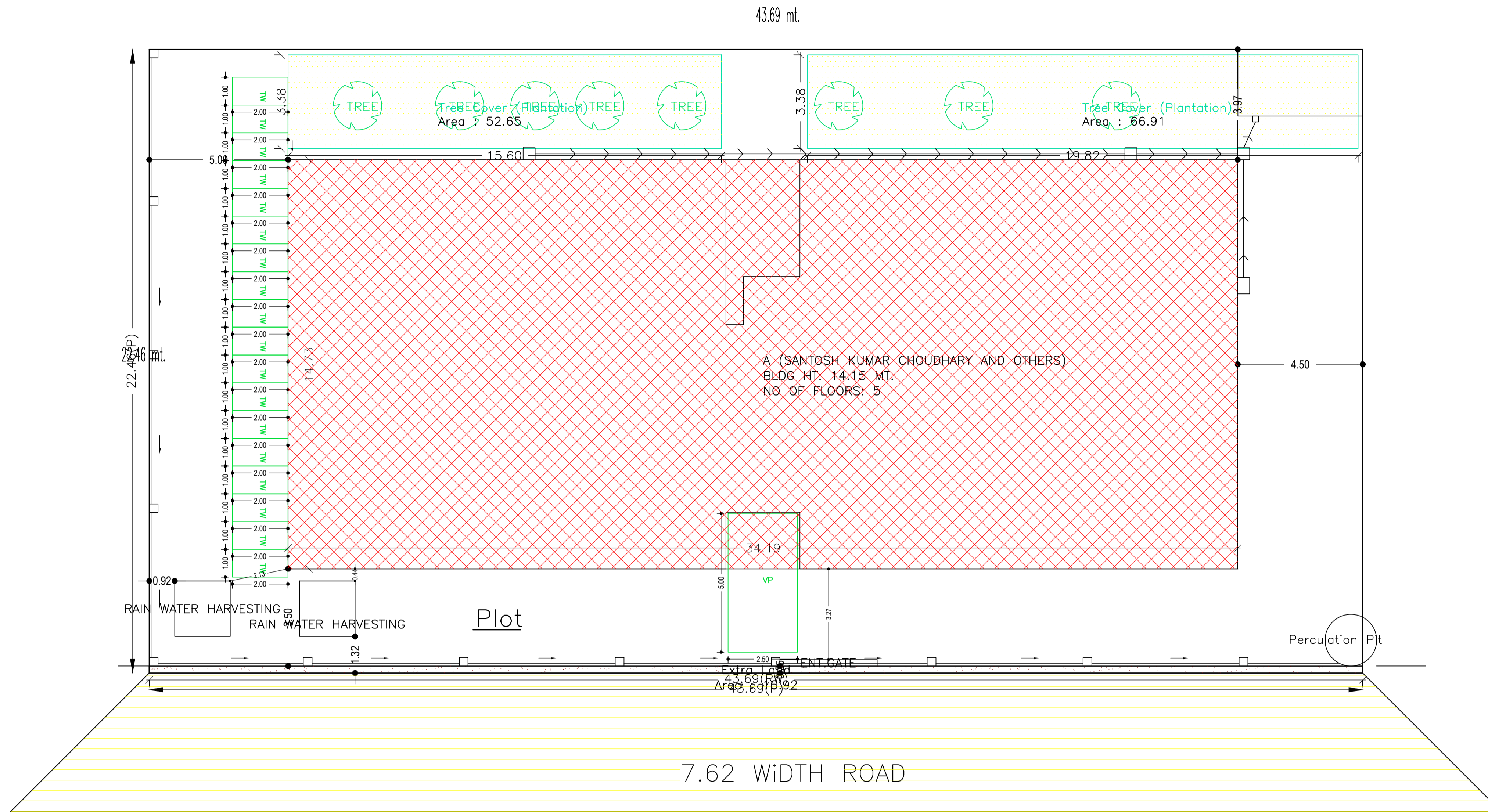


Proposal Basic Information	
Proposal File No.	AMC/BP/0056/W02/2018
Owner Name	Santosh Kumar Choudhury and Others
Khata No	80(O),113(N),80,80,80
Plot No	(O) 382/382/A (N) 424/424A
Village Name	ASANGI
Use	Residential
SubUse	Residential Bldg/Apartment



AREA STATEMENT		VERSION NO.: 1.0.30
ADITYAPUR MUNICIPAL CORPORATION		VERSION DATE: 30/06/2018
PROJECT DETAIL:		
Region: JHARKHAND URBAN	Plot Use: Residential	
LOCAL BODIES	Plot SubUse: Residential Bldg/Apartment	
District: EAST SINGBHUM	PlotNearbyReligiousStructure: NA	
Authority: ADITYAPUR MUNICIPAL CORPORATION	Plot/SubPlot No: (O) 382/382/A (N) 424/424A	
Inward No: AMC/BP/0056/W02/2018	North: Road Width - 7.62	
Application Type: General Proposal	South: -	
Project Type: Building Permission	East: -	
Nature of Development: New	West: -	
Location of Development Area: Old Area		
AREA DETAILS:		
AREA OF PLOT (Minimum)	(A)	981.28
Deduction for NetPlot Area		
Extra Land Area		10.92
Total		10.92
NET AREA OF PLOT(Gross Plot Area - Deduction from Gross Plot area)	(A-Deductions)	970.36
Deduction for Balance Plot Area(from Gross Plot Area)		
Extra Land Area		10.92
Common Plot		119.56
Total		130.48
BALANCE AREA OF PLOT(Net Plot Area - Recreational/Amenity space)	(A-Deductions)	850.80
PLOT AREA FOR COVERAGE(Net Plot Area)	(A-Deductions)	970.36
Plot Area for FAR (Net Plot Area + RoadWidening Area)	(A-Deductions)	970.36
COVERAGE CHECK		
Permissible Coverage area (60.00 %)		582.22
Proposed Coverage Area (51.91 %)		503.69
Total Prop. Coverage Area (51.91 %)		503.69
Balance coverage area (8.09 %)		78.53
FAR CHECK		
Perm. FAR Area (2.50)		2425.90
Total Perm. FAR area		2425.90
Residential FAR		1803.99
Proposed FAR Area		1824.26
Total Proposed FAR Area		1824.26
Consumed FAR (Factor)		1.88
Balance FAR Area		601.64
BUILT UP AREA CHECK		
Total Proposed BuiltUp Area		2447.65
ARCHITECT (Regd)	L. K. SUMAN	
ENGINEER (Regd)		
SUPERVISOR (Regd)		
OWNER (Regd)	Santosh Kumar Choudhury and Others	
DEVELOPMENT AUTHORITY		LOCAL BODY

Required Parking(Table 7a)

Building Name	Type	SubUse	Area (Sq.mt.)		Units		Car		Visitors Car		TwoWheeler		
			Reqd.	Prop.	Reqd.	Prop.	Reqd./Unit	Prop.	Reqd./Unit	Prop.	Reqd./Unit	Prop.	
A (SANTOSH KUMAR CHOUDHARY AND OTHERS)	Residential	Bungalow/ Dwelling / Non Apartment	> 0	1	24.00	1.00	24	-	-	-	-	-	-
			> 0	1	24.00	-	-	1	3	-	-	-	-
Total:			-	-	-	-	24	24	-	3	3	0	24

Parking Check (Table 7b)

Vehicle Type	Reqd.		Prop.	
	No.	Area	No.	Area
Car	-	-	24	300.00
Total Car	24	300.00	24	300.00
Visitor's Car Parking	3	37.50	3	37.50
TwoWheeler	-	-	24	48.00
Other Parking	-	-	-	135.98
Total	337.50			521.48

FAR & Tenement Details (Table 4c-1)

Building	No. of Same Bldg	Total Built Up Area (Sq.mt.)	Deductions (Area in Sq.mt.)				Proposed FAR Area (Sq.mt.)	Add Area In FAR (Sq.mt.)	Total FAR Area (Sq.mt.)	Total Consumed Additional FAR Area (Sq.mt.)	Tnmt (No.)
			Lift	Void	Accessory Use	Parking					
A (SANTOSH KUMAR CHOUDHARY AND OTHERS)	1	2447.65	14.04	125.92	10.44	472.98	1804.00	16.76	1824.27	1824.27	24
Grand Total	1	2447.65	14.04	125.92	10.44	472.98	1804.00	16.76	1824.27	1824.27	24

SITE PLAN

COLOR INDEX	
PLOT BOUNDARY	Black
ABUTTING ROAD	Green
PROPOSED CONSTRUCTION	Red
COMMON PLOT	Yellow
ROAD WIDENING AREA	Blue
EXISTING (To be retained)	Light Blue
EXISTING (To be demolished)	Dark Blue

Buildingwise Floor FAR Details

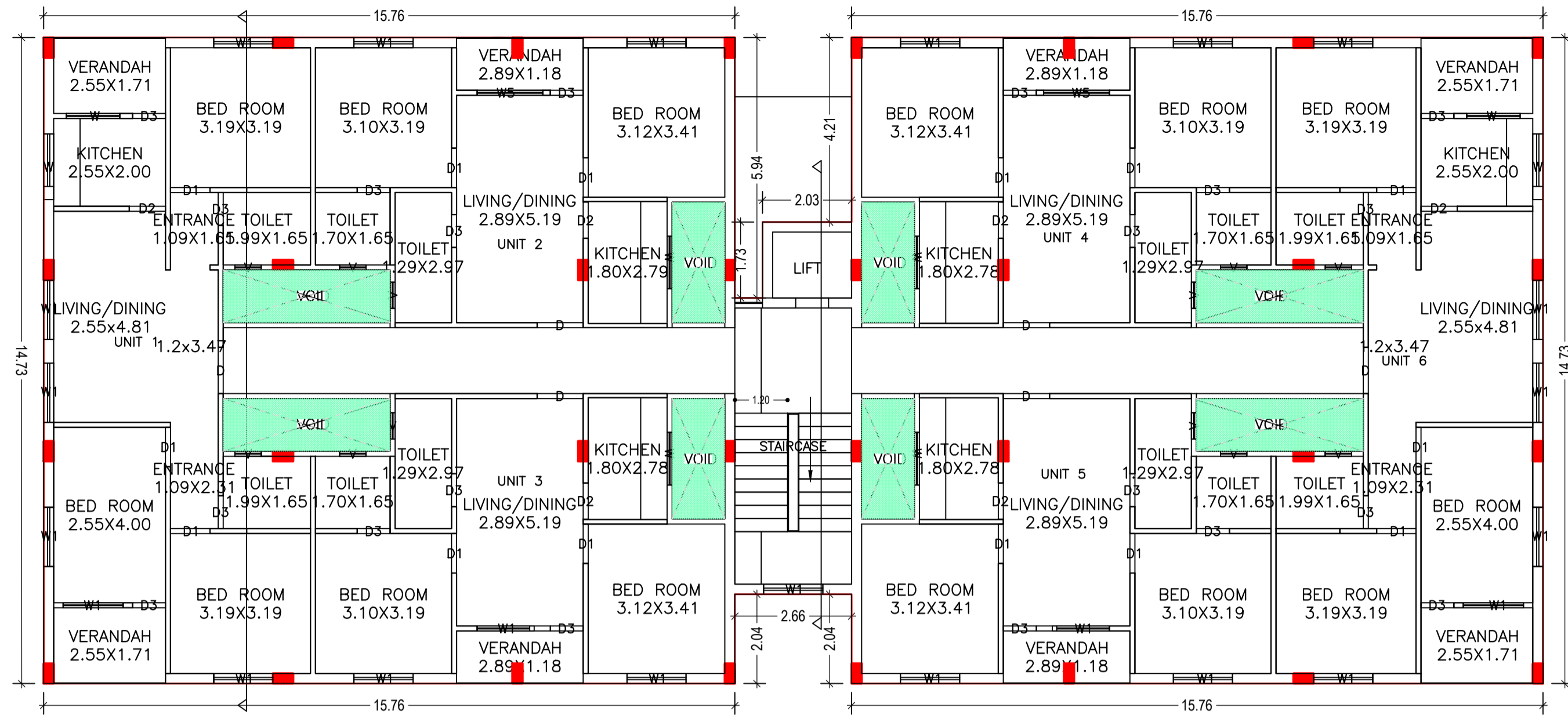
Floor Name	Building Name		Total	
	Proposed Built Up Area (Sq.mt.)	Proposed FAR Area (Sq.mt.)	Total Proposed Built Up Area (Sq.mt.)	Total FAR Area (Sq.mt.)
Parking Floor	503.69	20.27	503.69	20.27
First Floor	485.99	451.00	485.99	451.00
Second Floor	485.99	451.00	485.99	451.00
Third Floor	485.99	451.00	485.99	451.00
Fourth Floor	485.99	451.00	485.99	451.00
Terrace Floor	0.00	0.00	0.00	0.00
Total :	2447.65	1824.27	2447.65	1824.27

Building USE/SUBUSE Details

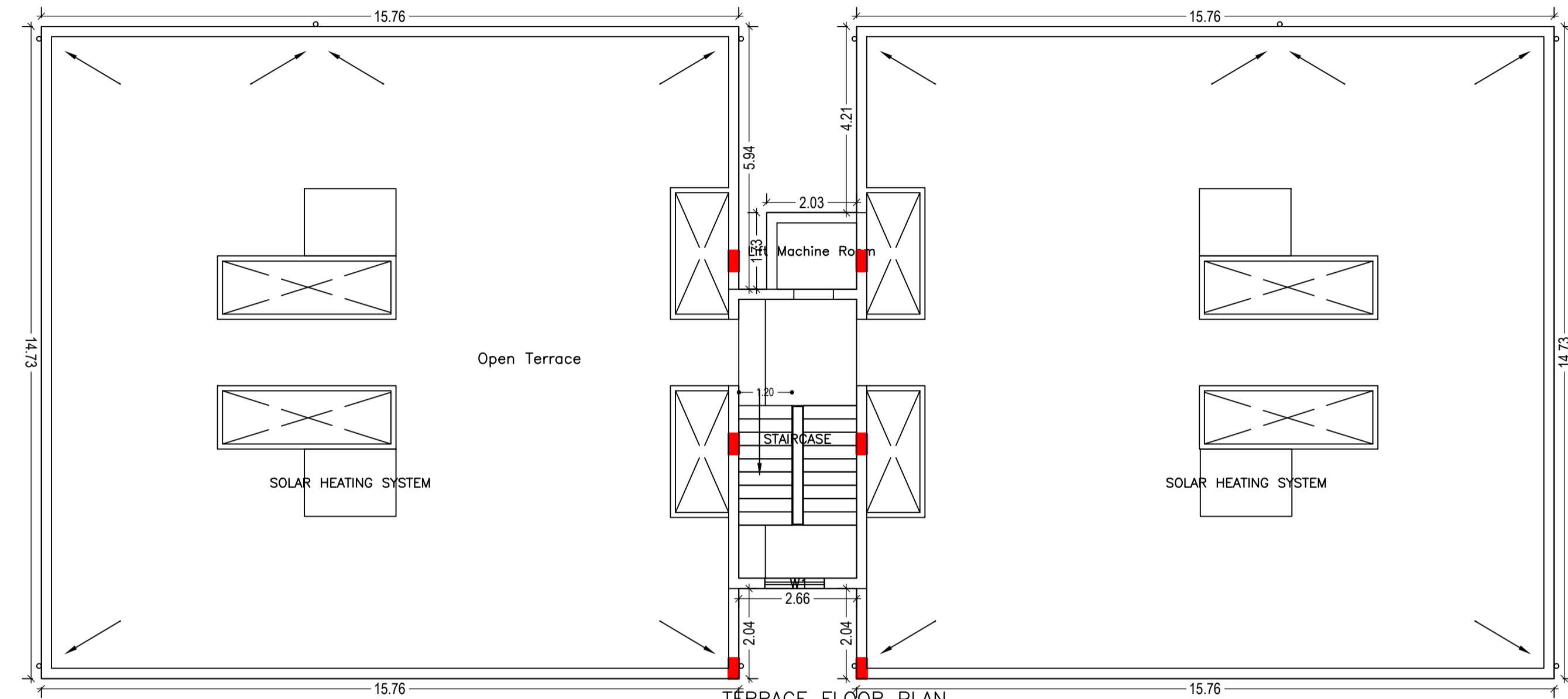
Building Name	Building Use	Building SubUse	Building Structure
A (SANTOSH KUMAR CHOUDHARY AND OTHERS)	Residential	Bungalow/ Dwelling / Non Apartment	Non-Highrise

LTP NAME AND SIGNATURE	STRUCTURAL ENG'S NAME AND SIGNATURE	BUILDER NAME AND SIGNATURE	DIGITAL SIGNATURE
L. K. SUMAN AMC/ENG/0021/2016			

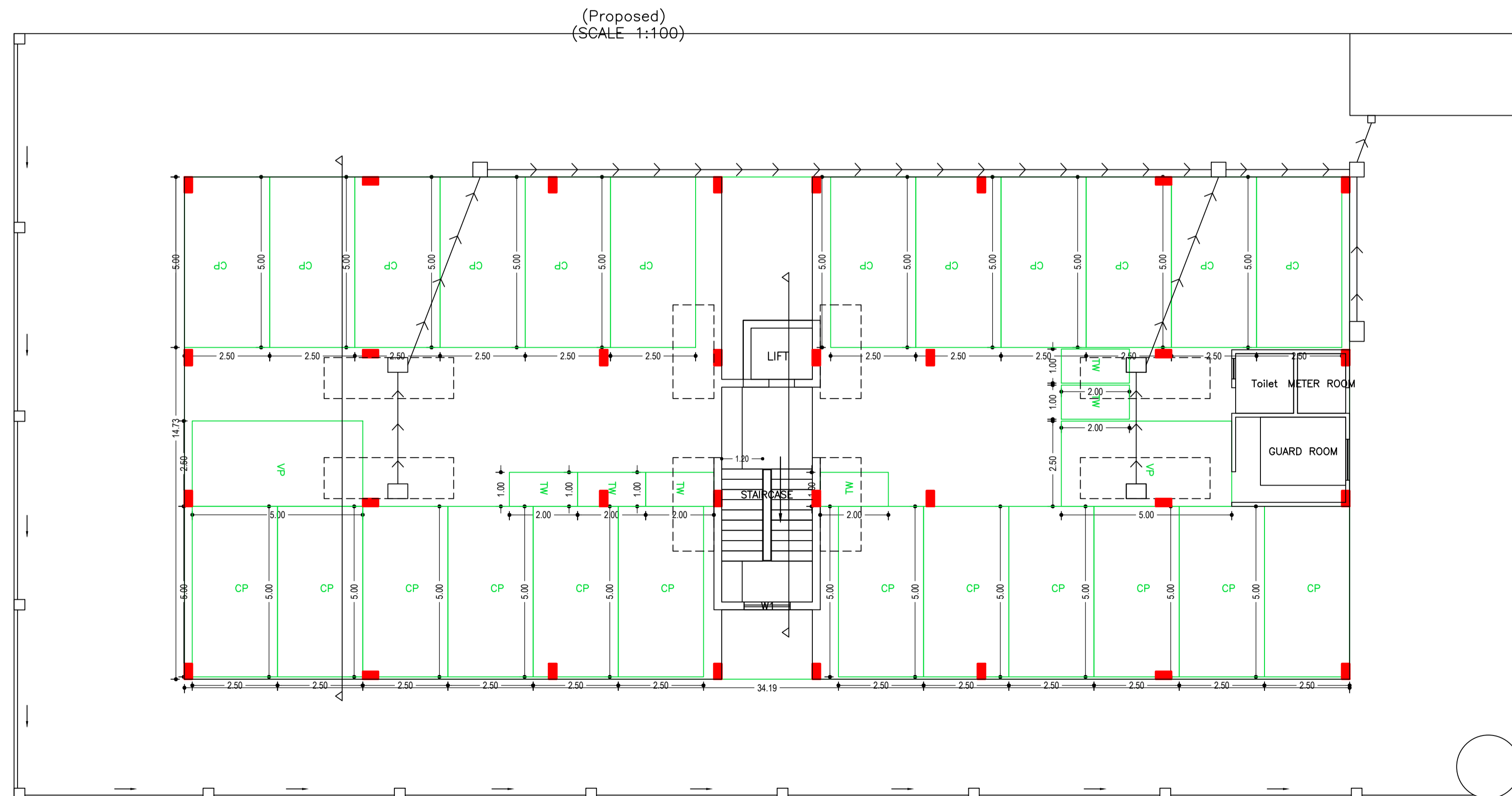
Proposal Basic Information	
Proposal File No.	AMC/BP/0056/W02/2018
Owner Name	Santosh Kumar Choudhury and Others
Khata No	80(O),113(N),80,80,80
Plot No	(O) 382/382/A (N) 424/424A
Village Name	ASANGI
Use	Residential
SubUse	Residential Bldg/Apartment



TYPICAL - 1, 2, 3& 4 FLOOR PLAN
(Proposed)
(SCALE 1:100)



TERRACE FLOOR PLAN
(SCALE 1:100)



PARKING FLOOR PLAN
(SCALE 1:100)

SCHEDULE OF DOOR:

BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
A (SANTOSH KUMAR CHOUDHARY AND OTHERS)	D3	0.75	2.10	80
A (SANTOSH KUMAR CHOUDHARY AND OTHERS)	D2	0.82	2.10	08
A (SANTOSH KUMAR CHOUDHARY AND OTHERS)	D2	0.83	2.10	16
A (SANTOSH KUMAR CHOUDHARY AND OTHERS)	D1	0.90	2.10	56
A (SANTOSH KUMAR CHOUDHARY AND OTHERS)	D	1.05	2.10	24

SCHEDULE OF WINDOW/VENTILATION:

BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
A (SANTOSH KUMAR CHOUDHARY AND OTHERS)	V	0.60	0.60	48
A (SANTOSH KUMAR CHOUDHARY AND OTHERS)	W	1.20	1.20	16
A (SANTOSH KUMAR CHOUDHARY AND OTHERS)	W	1.22	1.20	08
A (SANTOSH KUMAR CHOUDHARY AND OTHERS)	W1	1.30	1.20	08
A (SANTOSH KUMAR CHOUDHARY AND OTHERS)	W1	1.35	1.20	78
A (SANTOSH KUMAR CHOUDHARY AND OTHERS)	W1	1.37	1.20	08
A (SANTOSH KUMAR CHOUDHARY AND OTHERS)	W	1.50	1.20	08
A (SANTOSH KUMAR CHOUDHARY AND OTHERS)	W5	1.50	1.20	08

UnitBUA Table for Building :A (SANTOSH KUMAR CHOUDHARY AND OTHERS)

FLOOR	Name	UnitBUA Type	UnitBUA Area	Carpet Area	No. of Rooms	No. of Tenement
TYPICAL - 1, 2, 3& 4 FLOOR PLAN	UNIT 1	FLAT	75.98	73.16	11	24
	UNIT 2	FLAT	53.71	51.45	7	
	UNIT 3	FLAT	53.71	51.46	7	
	UNIT 4	FLAT	53.71	51.43	7	
	UNIT 5	FLAT	53.71	51.45	7	
	UNIT 6	FLAT	75.98	73.16	11	
Total:	-	-	1467.21	1408.42	200	24

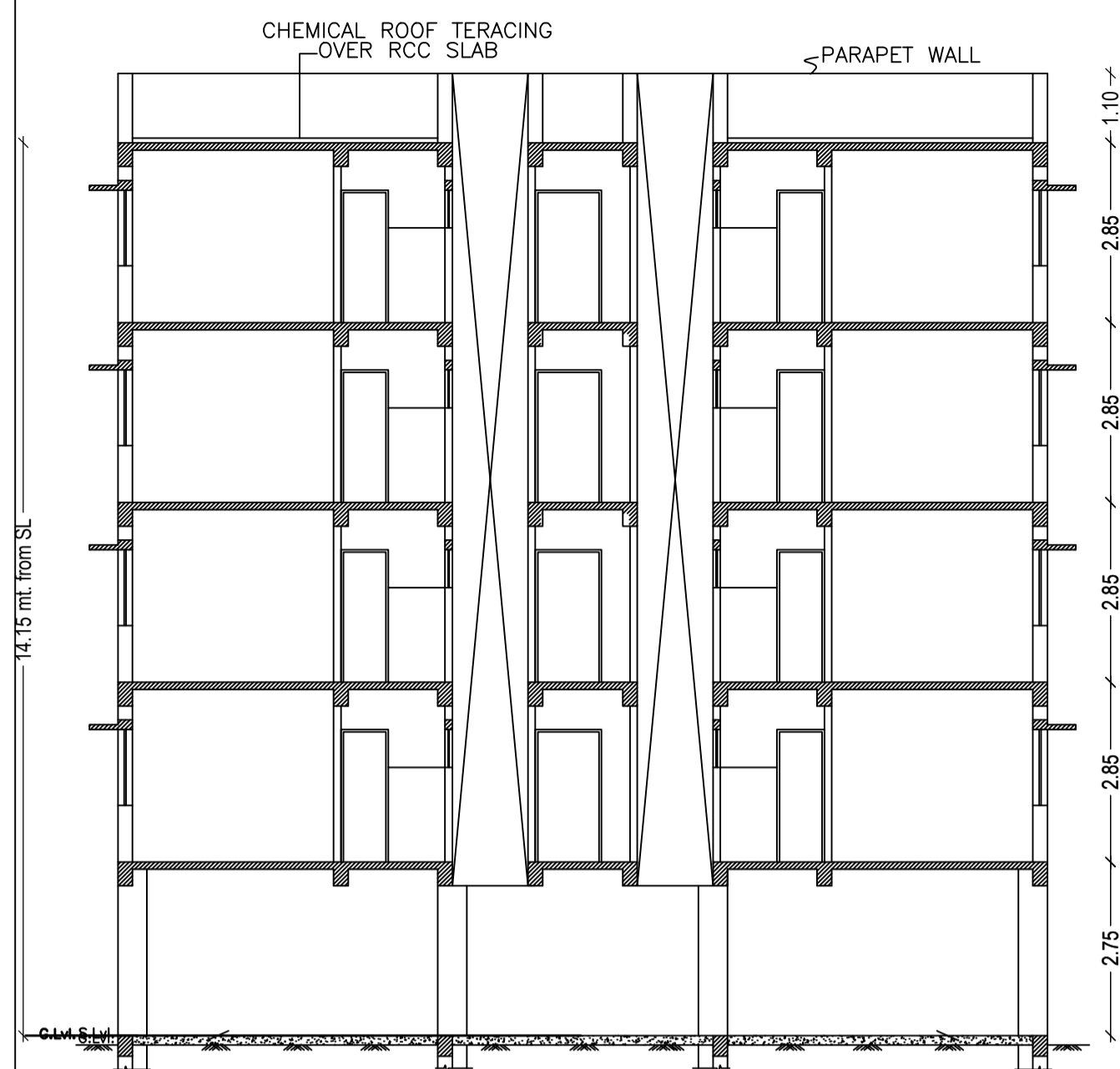
Building :A (SANTOSH KUMAR CHOUDHARY AND OTHERS)

Floor Name	Total Built Up Area (Sq.mt.)	Deductions (Area in Sq.mt.)				Proposed FAR Area (Sq.mt.)	Add Area In FAR (Sq.mt.)	Total FAR Area (Sq.mt.)	Total Consumed Additional FAR Area (Sq.mt.)	Trmt (No.)
		Lift	Void	Accessory Use	Parking					
Parking Floor	503.69	0.00	0.00	10.44	472.98	0.00	16.76	20.27	20.27	00
First Floor	485.99	3.51	31.48	0.00	0.00	451.00	0.00	451.00	451.00	06
Second Floor	485.99	3.51	31.48	0.00	0.00	451.00	0.00	451.00	451.00	06
Third Floor	485.99	3.51	31.48	0.00	0.00	451.00	0.00	451.00	451.00	06
Fourth Floor	485.99	3.51	31.48	0.00	0.00	451.00	0.00	451.00	451.00	06
Terrace Floor	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	00
Total :	2447.65	14.04	125.92	10.44	472.98	1804.00	16.76	1824.27	1824.27	24
Total Number of Same Buildings :	1									
Total :	2447.65	14.04	125.92	10.44	472.98	1804.00	16.76	1824.27	1824.27	24

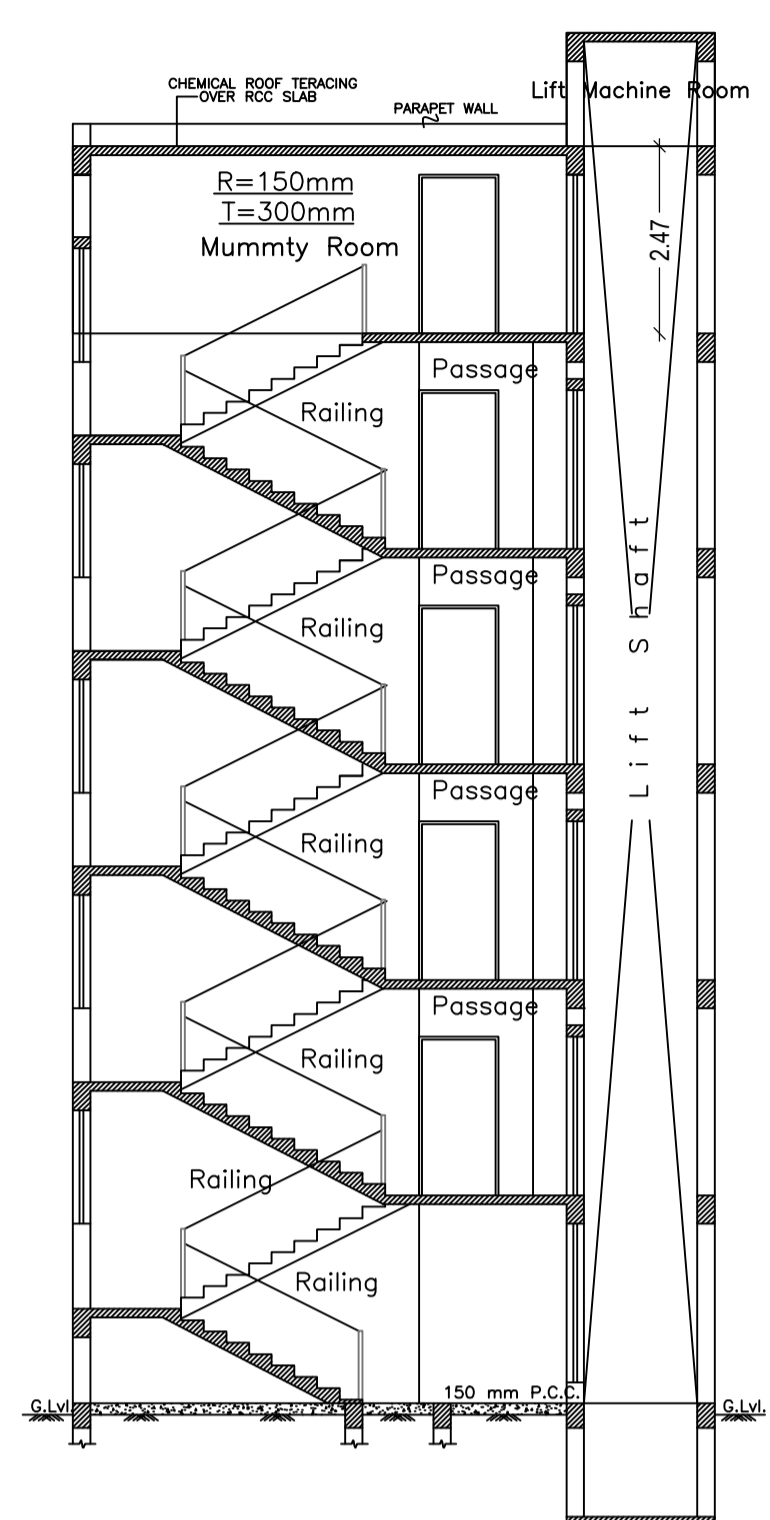
LTP NAME AND SIGNATURE	STRUCTURAL ENG'S NAME AND SIGNATURE	BUILDER NAME AND SIGNATURE	DIGITAL SIGNATURE
L. K. SUMAN AMC/ENG/0021/2016			

Proposal Basic Information

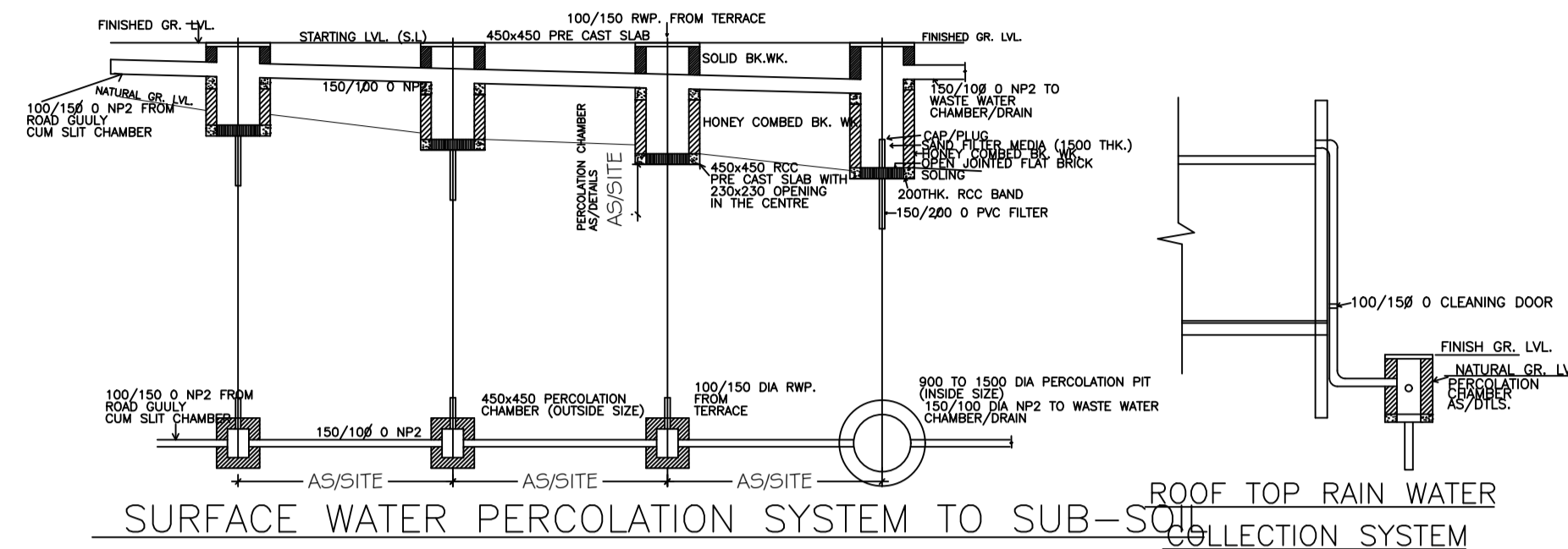
Proposal File No.	AMC/BP/0056/W02/2018
Owner Name	Santosh Kumar Choudhury and Others
Khata No	80(O),113(N),80,80,80
Plot No	(O) 382/382(A (N) 424/424A
Village Name	ASANGI
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SubUse	Residential Bldg/Apartment



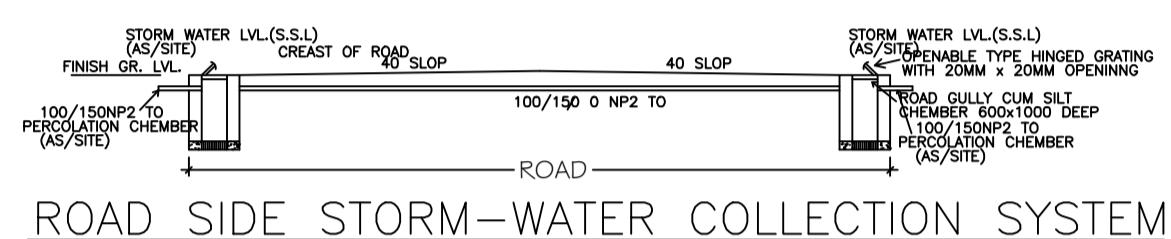
Scale: (1:100)



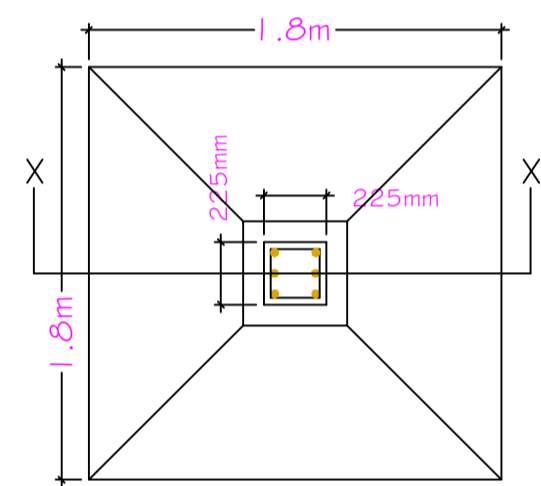
Section on A-A
Scale: (1:100)



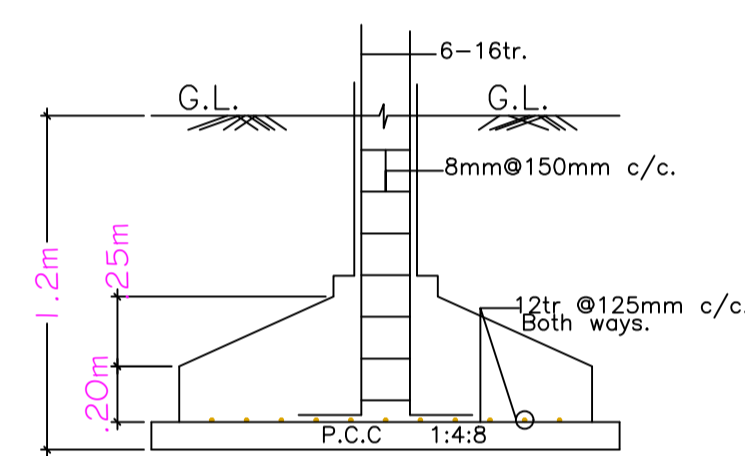
ROOF TOP RAIN WATER PERCOLATION SYSTEM TO SUB-SOIL COLLECTION SYSTEM



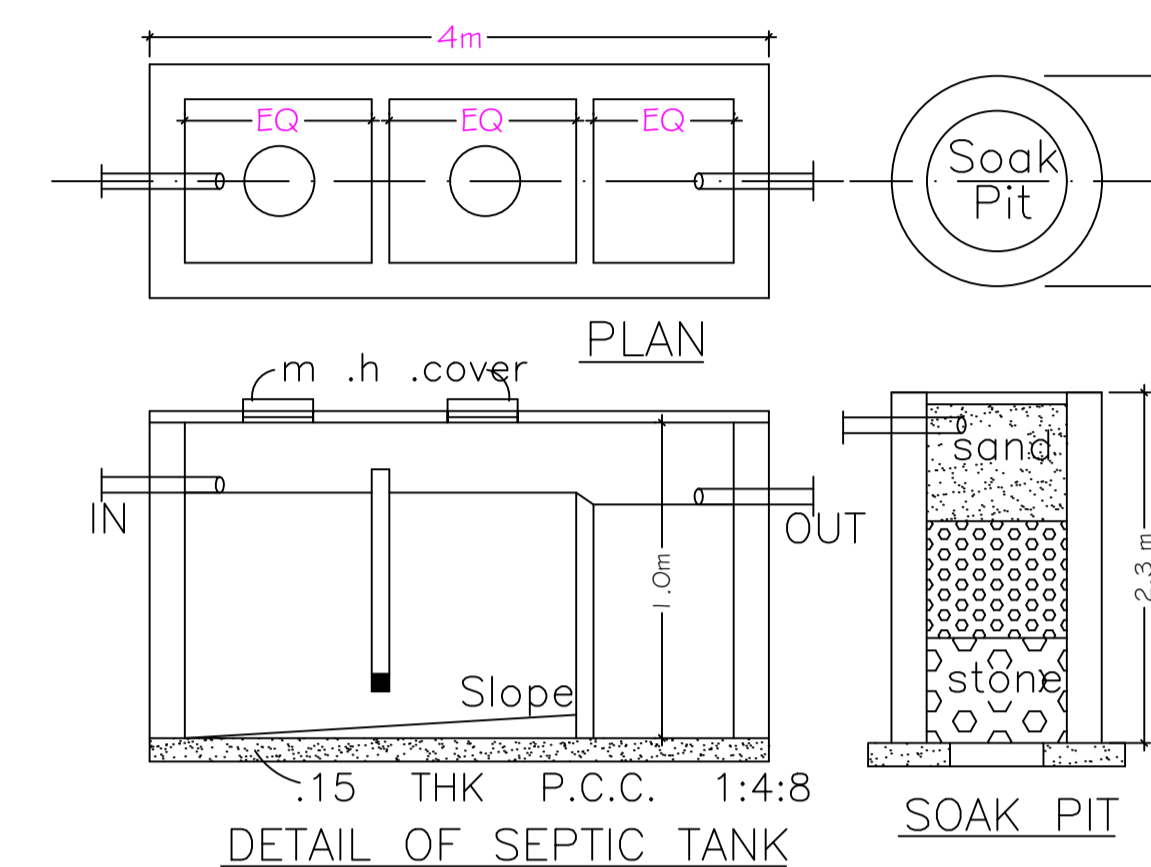
ROAD SIDE STORM-WATER COLLECTION SYSTEM



DETAIL OF FOOTING
(Not to Scale)



SECTION ON = X-X

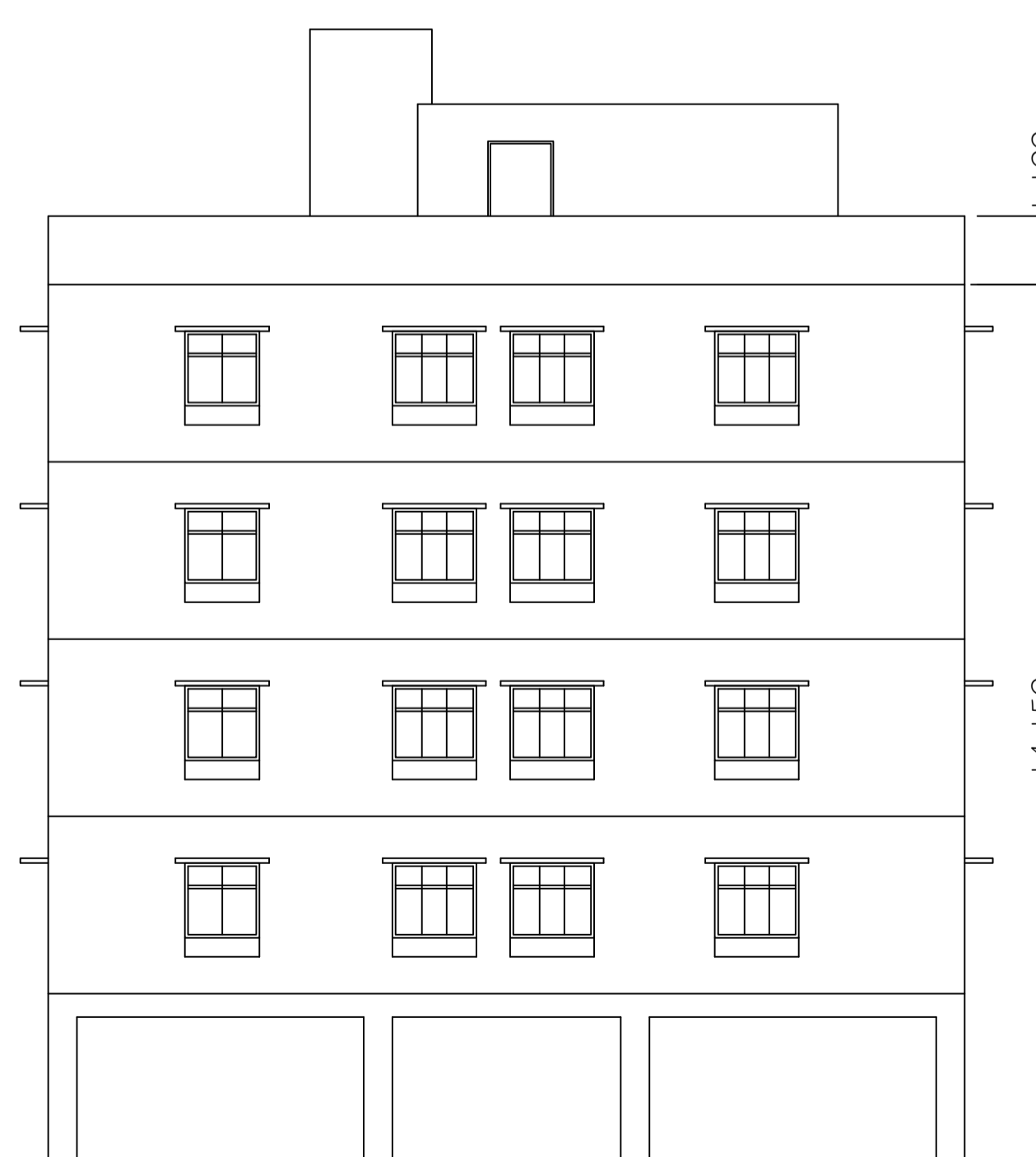


DETAIL OF SEPTIC TANK

SOAK PIT

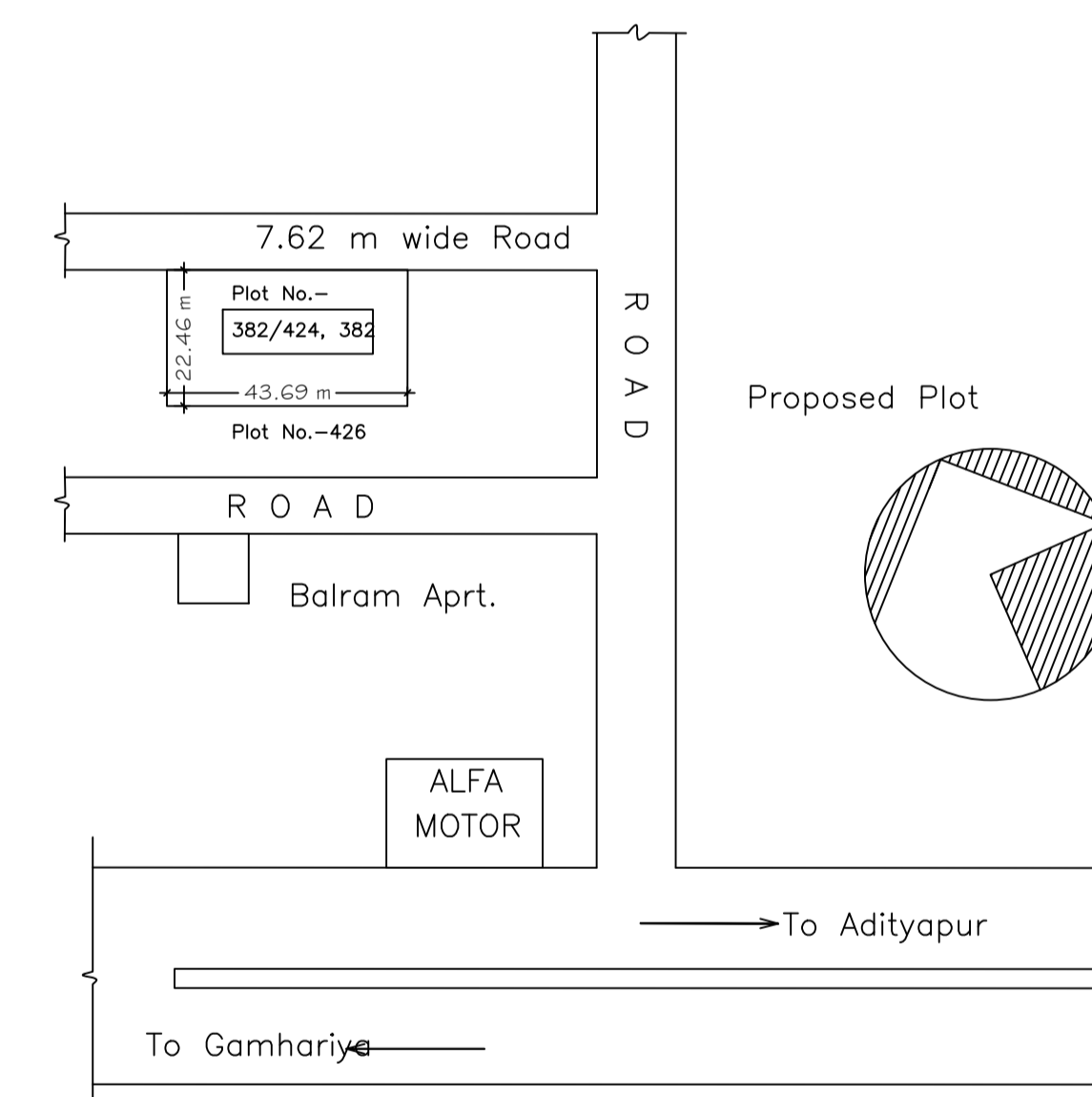


FRONT ELEVATION
Scale: (1:100)



SIDE ELEVATION
Scale: (1:100)

Roof Plan
Scale - (1:100)



LTP NAME AND SIGNATURE	STRUCTURAL ENG'S NAME AND SIGNATURE	BUILDER NAME AND SIGNATURE	DIGITAL SIGNATURE
L. K. SUMAN AMC/ENG/0021/2016			