

SITE PLAN
SCALE:1:100

LAND AREA FOR CONSTRUCTION PURPOSE = 2118.91 M²

BLOCK - A														
NO. OF FLOOR	TOTAL AREA	AREA TO BE EXCLUDED FROM CONSTRUCTION		TOTAL COVERED AREA	DEDUCTIONS						TOTAL AREA FOR F.A.R.	OCCUPANCY USE PROPOSED	REMARKS	
		COMMON AREA	STAIRCASE		STAIR	VOID	DUCT	SEE STAIR	SEE STAIR	SEE STAIR				SEE STAIR
GROUND FLOOR	849.27	x	x	849.27	x	x	x	x	x	815.70	x	815.70	33.57 M ²	PARKING
1ST FLOOR	849.27	x	30.92	880.19	5.10	x	14.29	x	x	880.19	x	85.07	795.12 M ²	RESIDENTIAL
2ND FLOOR	849.27	x	30.92	880.19	5.10	x	14.29	x	x	880.19	x	85.07	795.12 M ²	RESIDENTIAL
3RD FLOOR	849.27	x	30.92	880.19	5.10	x	14.29	x	x	880.19	x	85.07	795.12 M ²	RESIDENTIAL
4TH FLOOR	849.27	x	30.92	880.19	5.10	x	14.29	x	x	880.19	x	85.07	795.12 M ²	RESIDENTIAL
TOTAL	4049.31 M ²	x	123.68 M ²	4172.99 M ²	20.40 M ²	x	57.14 M ²	x	115.70 M ²	45.68 M ²	x	3214.05 M ²		

BLOCK - B														
NO. OF FLOOR	TOTAL AREA	AREA TO BE EXCLUDED FROM CONSTRUCTION		TOTAL COVERED AREA	DEDUCTIONS						TOTAL AREA FOR F.A.R.	OCCUPANCY USE PROPOSED	REMARKS	
		COMMON AREA	STAIRCASE		STAIR	VOID	DUCT	SEE STAIR	SEE STAIR	SEE STAIR				SEE STAIR
GROUND FLOOR	415.86	x	x	415.86	x	x	x	x	x	394.86	x	394.86	21.00 M ²	PARKING
1ST FLOOR	415.86	x	31.04	446.92	2.55	x	8.85	x	x	446.92	x	22.01	424.91 M ²	RESIDENTIAL
2ND FLOOR	415.86	x	31.04	446.92	2.55	x	8.85	x	x	446.92	x	22.01	424.91 M ²	RESIDENTIAL
3RD FLOOR	415.86	x	31.04	446.92	2.55	x	8.85	x	x	446.92	x	22.01	424.91 M ²	RESIDENTIAL
4TH FLOOR	415.86	x	31.04	446.92	2.55	x	8.85	x	x	446.92	x	22.01	424.91 M ²	RESIDENTIAL
5TH FLOOR	415.86	x	31.04	446.92	2.55	x	8.85	x	x	446.92	x	22.01	424.91 M ²	RESIDENTIAL
TOTAL	2452.72 M ²	x	155.50 M ²	2608.22 M ²	10.20 M ²	x	35.40 M ²	x	94.86 M ²	10.41 M ²	x	2145.55 M ²		

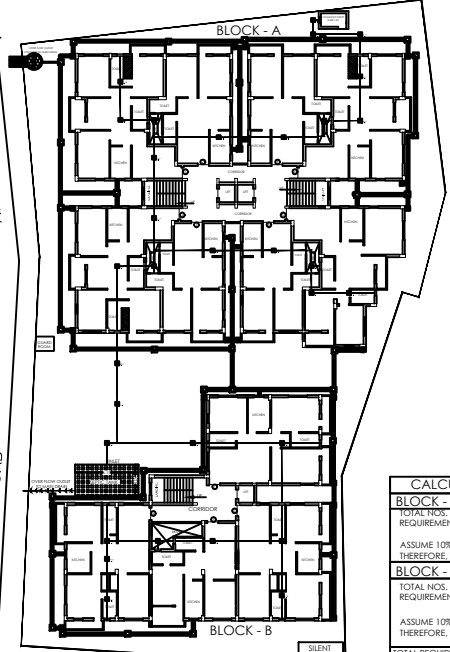
LAND AREA FOR CONSTRUCTION PURPOSE = 2118.91 M²

GROUND COVERAGE OF BLOCK- A = 849.27 SQ.MT
GROUND COVERAGE OF BLOCK- B = 415.86 SQ.MT

F.A.R = BLOCK A = 3214.05 SQ.MTR
F.A.R = BLOCK B = 2145.55 SQ.MTR

GROUND COVERAGE = 849.27+415.86 = 1265.13 SQ.MTR
TOTAL LAND AREA = 2118.91 SQ.MTR = 59.70 %

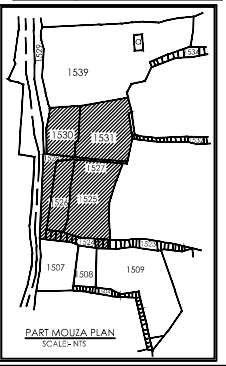
F.A.R = 3214.05+2145.55 = 4906.17 SQ.MTR
TOTAL LAND AREA = 2118.91 SQ.MTR = 2.52



DRAINAGE PLAN
SCALE:1:200

SCHEDULE FOR DRAINAGE PLAN

NOTIFICATION	DISCUSSION
⬠	INSPECTION CHAMBER
⊙	RECHARGE PIT
—	RAIN WATER PIPE
—	OVERFLOW OUTLET FOR RECHARGE PIT
—	OVERFLOW OUTLET FOR SEPTIC TANK
—	SOAK PIT
—	DRAIN PIPELINE LAYOUT
—	UNDERGROUND PIPELINES



CALCULATION FOR SEPTIC TANK

BLOCK - A :-
 TOTAL NOS. OF FLAT UNITS = 32 NOS.
 REQUIREMENT OF SEPTIC TANK CAPACITY FOR 32 FLAT = 32 X 5 PEOPLE X 0.085 M³ = 13.60 M³
 ASSUME 10% EXTRA = 1.36 M³
 THEREFORE, TOTAL REQUIRED CAPACITY OF SEPTIC TANK = 14.96 M³

BLOCK - B :-
 TOTAL NOS. OF FLAT UNITS = 20 NOS.
 REQUIREMENT OF SEPTIC TANK CAPACITY FOR 20 FLAT = 20 X 5 PEOPLE X 0.085 M³ = 8.50 M³
 ASSUME 10% EXTRA = 0.85 M³
 THEREFORE, TOTAL REQUIRED CAPACITY OF SEPTIC TANK = 9.35 M³

TOTAL REQUIREMENT OF SEPTIC TANK = 14.96 + 9.35 = 24.31 M³
 PROPOSED CAPACITY OF SEPTIC TANK = 6.15M³ X 3.07M³ X 2.00M³ = 38.50 M³
 MORE THAN REQUIRED.

EXISTING FIFTH FLOOR APPROVAL OF BLOCK - B FOR
M/S KAMDHENU CITY HOME BUILDERS PVT.LTD
 DIRECTOR

MR. PARAMJIT SINGH SANDHU
 S/O MR. HARNEK SINGH SANDHU

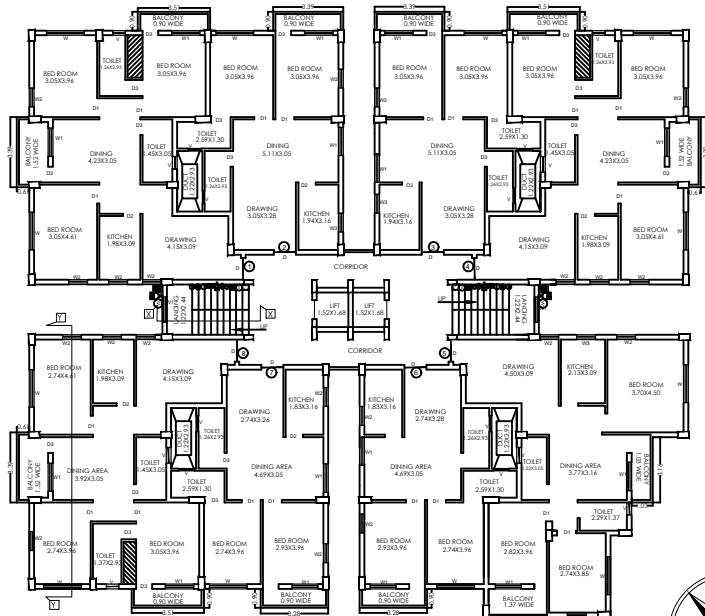
DETAILS OF PLOT :-

PLOT NO :- 1524 & KHATA NO :- 178
 PLOT NO :- 1526 & KHATA NO :- 178
 PLOT NO :- 1528 & KHATA NO :- 178
 PLOT NO :- 1530 & KHATA NO :- 178
 PLOT NO :- 1525 & KHATA NO :- 182
 PLOT NO :- 1527 & KHATA NO :- 182
 PLOT NO :- 1531 & KHATA NO :- 181
 MOUZA :- KULLIPTANGA
 THANA NO:- 130
 WARD NO:-17 , P.S:- ADITYAPUR
 DIST :- SERAIKELA KHARSAWAN

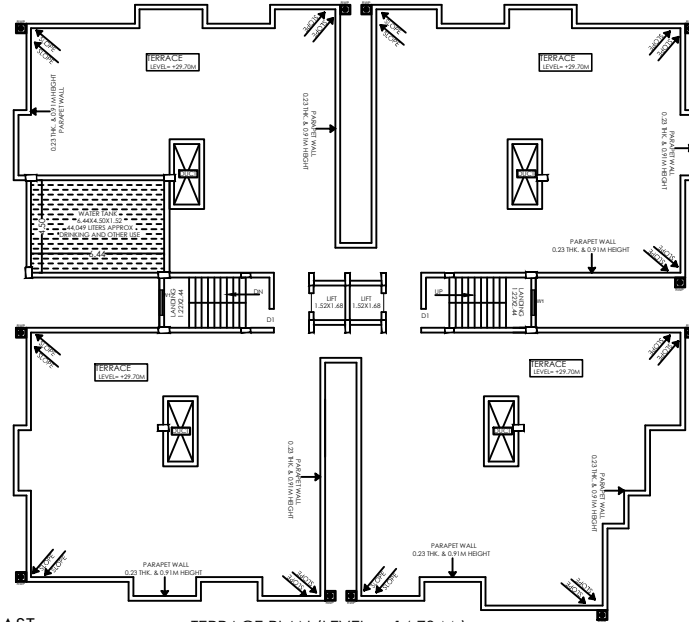
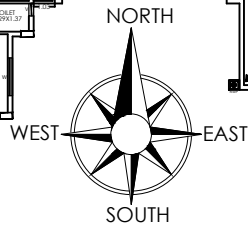
CONTENTS :-

- * SITE PLAN
- * DRAINAGE PLAN
- * PART MOUZA PLAN
- * F.A.R CALCULATION
- * SCHEDULE FOR DRAINAGE PLAN
- * CALCULATION FOR SEPTIC TANK

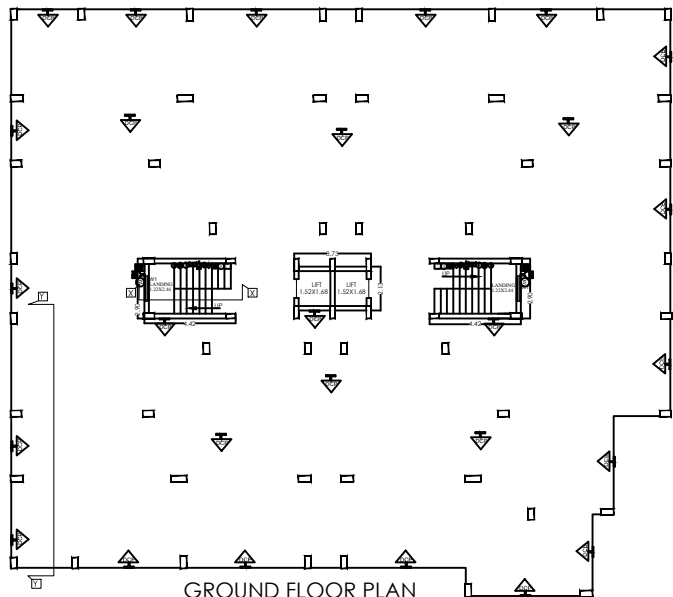
SH. NO	1/5
PLANNER	
MASTER PLAN	



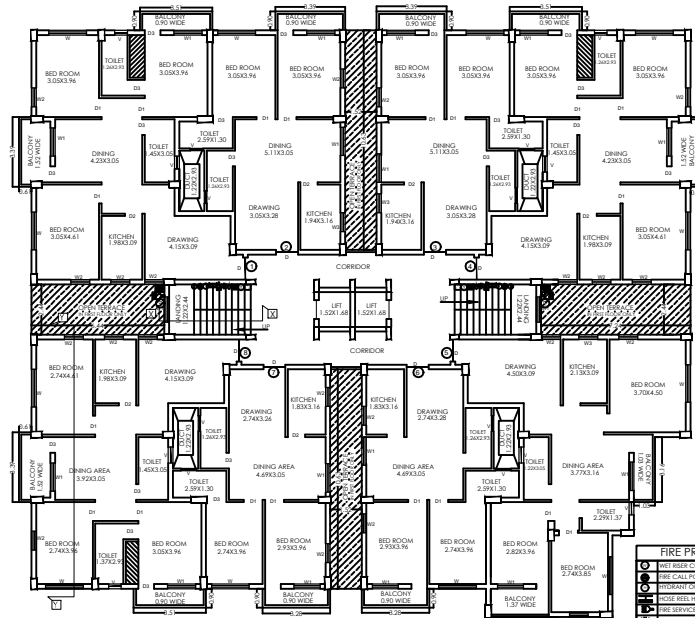
2ND FLOOR LEVEL: + 5.70 M.
3RD FLOOR LEVEL: + 8.70 M.
4TH FLOOR LEVEL: + 11.70 M.



TERRACE PLAN (LEVEL = +14.70 M.)
SCALE: 1:100



GROUND FLOOR PLAN
LEVEL: + 0.15 M.



FIRST FLOOR PLAN
LEVEL: + 2.70 M.

FIRE PROTECTION INDEX	
○	FIRE ALARM WITH DOWN CORNER
●	FIRE CALL POINT
○	STAIRWAY GATE
○	SMOKE BELL HOSE
○	FIRE SERVICE PRESS
○	HOODER
○	AREA PROTECTED BY AUTOMATIC DCP DRINKING WATER
○	POSSIBLE PROTECTED WITH FIRE PROTECTIVE GLASS
○	AREA PROTECTED WITH AUTOMATIC SPRINKLER
○	AREA PROTECTED WITH SMOKE DETECTORS WITH CONTROL PANEL

EXISTING FIFTH FLOOR APPROVAL OF BLOCK -B FOR
M/S KAMDHENU CITY HOME BUILDERS PVT.LTD
DIRECTOR

MR. PARAMJIT SINGH SANDHU
S/O MR. HARNEK SINGH SANDHU

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MOUZA :- KULLIPTANGA
THANA NO:- 130
WARD NO:- 17 , P.S:- ADITYAPUR
DIST :- SERAIKELA KHARSAWAN

CONTENTS :-

- * GROUND FLOOR PLAN
- * FIRST FLOOR PLAN
- * 2ND,3RD&4TH FLOOR PLAN
- * TERRACE PLAN

SH. NO 2/5

PLANNER

BLOCK - A

GROUND FLOOR CALCULATION			
NAME	L	B	AREA
(1)	28.16	27.05	761.72 M ²
(2)	6.13	1.37	8.39 M ²
(3)	1.03	4.76	4.90 M ²
(4)	3.77	19.70	74.26 M ²
TOTAL			849.27 M ²

BALCONY PROJECTION			
NAME	L	B	AREA
(1)	3X0.61	3.39	6.20 M ²
(2)	3X3.51	0.90	9.47 M ²
(3)	2X3.28	0.90	5.90 M ²
(4)	2X3.39	0.61	4.13 M ²
(5)	1.03	3.16	3.25 M ²
TOTAL			28.95 M ²

SCHEDULE OF DOOR & WINDOW				
TYPE	WIDTH	HT.	SILL	DESCRIPTION
D	1.07	2.13	0.00	WOODEN FLUSH DOOR
D1	0.91	2.13	0.00	WOODEN FLUSH DOOR
D2	0.76	2.13	0.00	WOODEN FLUSH DOOR
W	1.83	1.22	0.91	GLAZED WINDOW
W1	1.37	1.22	0.91	GLAZED WINDOW
W2	0.91	1.22	0.91	GLAZED WINDOW
V	0.61	0.61	1.52	GLAZED VENTILATOR

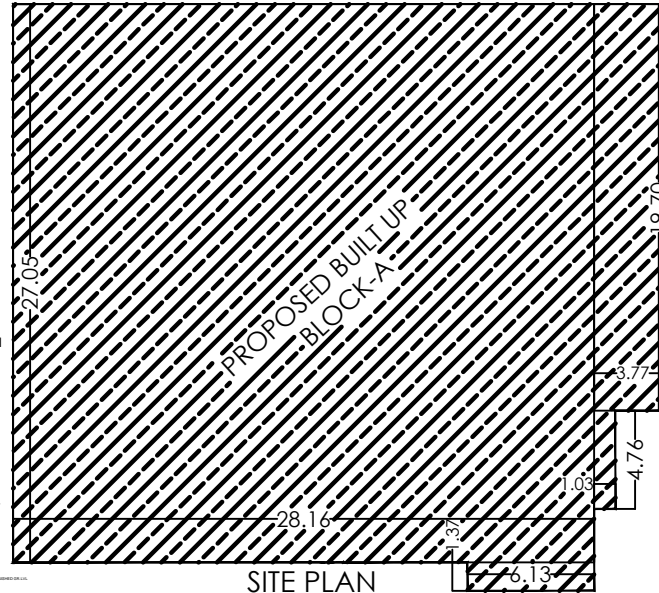
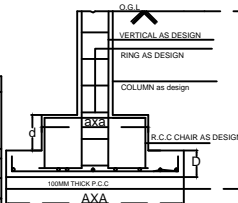
OPEN TERRACE CALCULATION IN FIRST FLOORS			
NAME	L	B	AREA
(1)	6.44	2.44	15.71 M ²
(2)	7.24	2.44	17.66 M ²
(3)	2X1.52	10.63	32.31 M ²
TOTAL			65.68 M ²

STAIR & LIFT AREA CALCULATION			
NAME	L	B	AREA
(1)	2X4.42	2.90	25.63 M ²
(3)	3.73	2.13	7.94 M ²
TOTAL			33.57 M ²

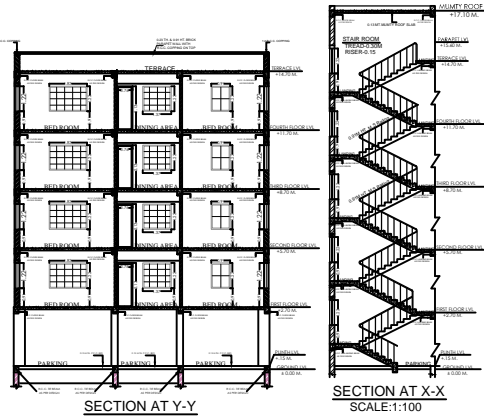
LIFT WELL CALCULATION			
NAME	L	B	AREA
(1)	2X1.52	1.68	5.10 M ²
TOTAL			5.10 M ²

DUCT AREA CALCULATION			
NAME	L	B	AREA
(1)	4X1.22	2.93	14.29 M ²
TOTAL			14.29 M ²

BLOCK - A															
NO. OF FLOOR	AREA IN PROJECTION PERMITTED WHEN SETBACK					DEDUCTIONS							NET AREA FOR F.A.R.	OCCUPANCY OR USE PROPOSED	REMARKS
	AREA WITH PERMITS	AREA WITH PERMITS	AREA WITH PERMITS	AREA WITH PERMITS	AREA WITH PERMITS	LIFT WELL	VOID	DUCT	FIRE STAIR	PARKING P. PROVIDED	OTHER P. PROVIDED	TOTAL DEDUCTIONS			
GROUND FLOOR	849.27	X	X	X	X	849.27	X	X	X	X	X	815.70	33.57 M ²	PARKING	
1ST FLOOR	849.27	X	28.95	X		878.22	5.10	X	14.29	X	X	858.74	65.07	TERRACE 65.68	RESIDENTIAL
2ND FLOOR	783.59	X	28.95	X		812.54	5.10	X	14.29	X	X	793.15	19.39		RESIDENTIAL
3RD FLOOR	783.59	X	28.95	X		812.54	5.10	X	14.29	X	X	793.15	19.39		RESIDENTIAL
4TH FLOOR	783.59	X	28.95	X		812.54	5.10	X	14.29	X	X	793.15	19.39		RESIDENTIAL
TOTAL	4049.31	X	115.80	X		4165.11	20.40	X	57.16	X	X	3830.94	122.79		

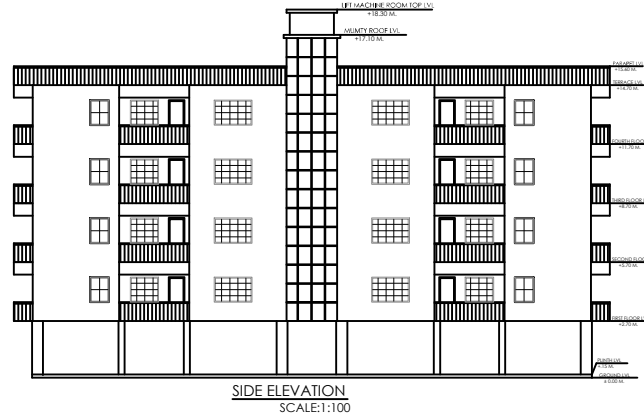
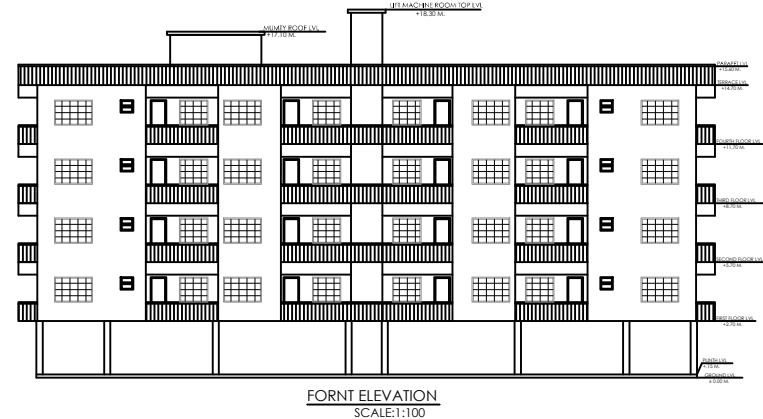
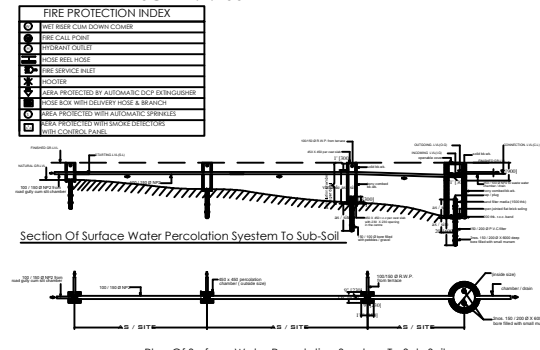
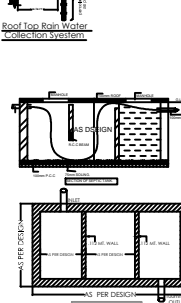


SITE PLAN
SCALE: 1:100



CALCULATION FOR WATER TANK	
TOTAL NOS. OF FLAT UNITS = 32 NOS.	REQUIREMENT OF WATER FOR 32 FLAT UNITS = 32 X 5 PEOPLE X 135 L/DAY = 21,600 LTR
	ASSUME 10% EXTRA = 2,160 LTR
	SO, TOTAL QUANTITY OF WATER NEEDED = 23,760 LITERS
	CAPACITY OF O.H.W.T. PROVIDED = (6.44 X 4.50 X 1.52) LTR = 44,049 LITERS MORE THAN REQUIRED

CALCULATION FOR PARKING	
TOTAL NOS. OF FLAT UNITS = 32 NOS.	REQUIREMENT OF PARKING FOR 32 RESIDENTIAL UNITS = 32 X 20 M ² (INCLUDING DRIVEWAY) = 640 M ²
	REQUIRED CAR PARKING AREA = 32X20 = 640 Sqm.
	AVAILABLE PARKING SPACE IN GROUND FLOOR = 815.70/20 = 40 NO



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MOZA :- KULUPTANGA
THANA NO:- 130
WARD NO:- 17 , P.S:- ADITYAPUR
DIST :- SERAIKELA KHARSAWAN

CONTENTS :-

- * FRONT ELEVATION
- * SIDE ELEVATION
- * CALCULATION
- * GROUND COVERAGE
- * SCHEDULE OF DOOR & WINDOW
- * SCHEDULE OF DRAINAGE PLAN
- * CALCULATION FOR WATER TANK
- * CALCULATION FOR PARKING
- * SITE PLAN
- * SECTION "Y-Y"
- * SECTION "X-X"
- * FIRE PROTECTION INDEX

SH. NO 3/5

PLANNER

BLOCK - A

SCHEDULE OF DOOR & WINDOW				
TYPE	WIDTH	HT.	SILL	DESCRIPTION
D	1.07	2.13	0.00	WOODEN FLUSH DOOR
D1	0.91	2.13	0.00	WOODEN FLUSH DOOR
D2	0.76	2.13	0.00	WOODEN FLUSH DOOR
W	1.83	1.22	0.91	GLAZED WINDOW
W1	1.37	1.22	0.91	GLAZED WINDOW
W2	0.91	1.22	0.91	GLAZED WINDOW
V	0.61	0.61	1.52	GLAZED VENTILATOR

CALCULATION FOR WATER TANK

TOTAL NOS. OF FLAT UNITS = 20 NOS.
 REQUIREMENT OF WATER FOR 20 FLAT UNITS =
 20 X 5 PEOPLE X 135 L./DAY = 13,500 LTR
 ASSUME 10% EXTRA = 1,350 LTR
 SO, TOTAL QUANTITY OF WATER NEEDED = 14,850 LITERS

CAPACITY OF O.H.W.T. PROVIDED = (4.65 X 3.12 X 1.52) LTR
 = 22,052 LITERS MORE THAN REQUIRED

CALCULATION FOR PARKING

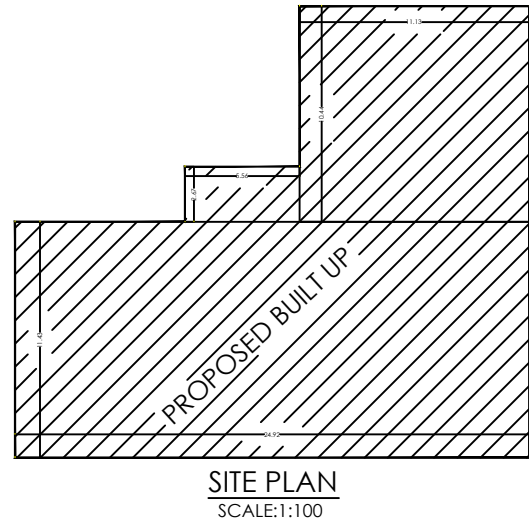
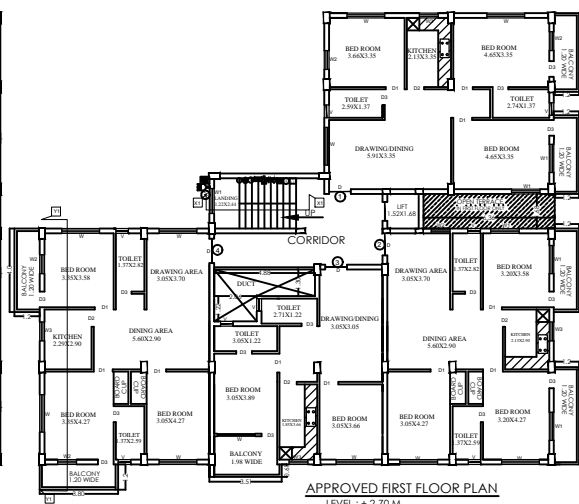
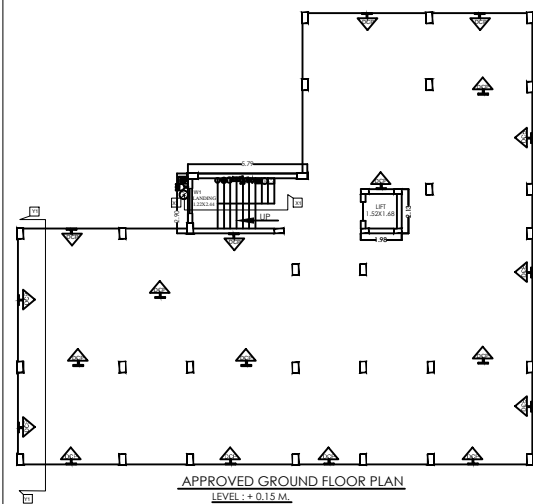
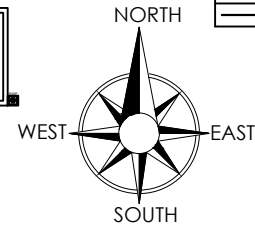
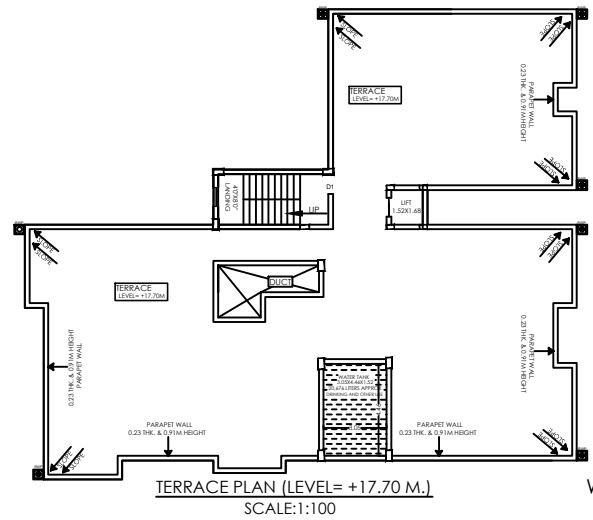
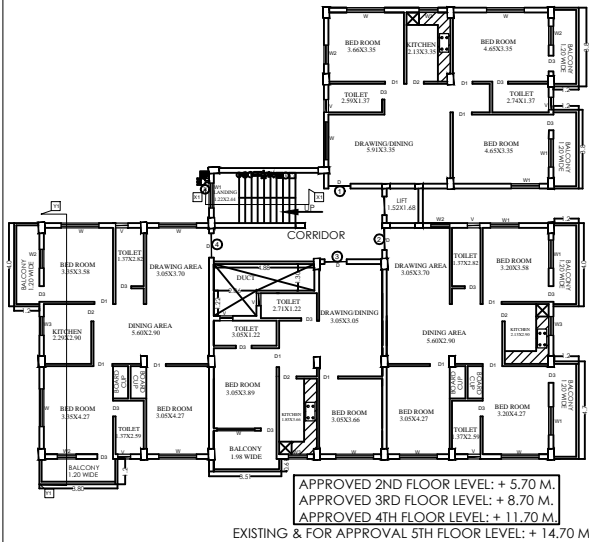
TOTAL NOS. OF FLAT UNITS = 20 NOS.
 REQUIREMENT OF PARKING FOR 20 RESIDENTIAL UNITS =
 = 20 X 20 M.² (INCLUDING DRIVEWAY)
 REQUIRED CAR PARKING AREA = 20X20 = 400 Sqm.
 AVAILABLE PARKING SPACE IN GROUND FLOOR = 394.86/20 = 19 NO

FIRE PROTECTION INDEX

☉	WET RISER CUM DOWN COMER
☉	FIRE CALL POINT
☉	HYDRANT OUTLET
☉	HOSE REEL HOSE
☉	FIRE SERVICE INLET
☉	HOOTER
☉	AREA PROTECTED BY AUTOMATIC DCP EXTINGUISHER
☉	HOSE BOX WITH DELIVERY HOSE & BRANCH
☉	AREA PROTECTED WITH AUTOMATIC SPRINKLES
☉	AREA PROTECTED WITH SMOKE DETECTORS WITH CONTROL PANEL

SCHEDULE FOR DRAINAGE PLAN

NOTIFICATION	DISCRPTION
☉	INSPECTION CHAMBER
☉	RECHARGE PIT
☉	RAIN WATER PIPE
☉	OVERFLOW OUTLET FOR RECHARGE PIT
☉	OVERFLOW OUTLET FOR SEPTIC TANK
☉	SOAK PIT
☉	DRAIN PIPELINE LAYOUT
☉	UNDERGROUND PIPELINES



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CONTENTS :-

- * GROUND FLOOR PLAN
- * FIRST FLOOR PLAN
- * 2ND,3RD&4TH FLOOR PLAN
- * TERRACE PLAN
- * CALCULATION FOR WATER TANK
- * CALCULATION FOR PARKING
- * SITE PLAN
- * SCHEDULE OF DOOR & WINDOW
- * FIRE PROTECTION INDEX

SH. NO	4/5
PLANNER	BLOCK - B

GROUND FLOOR CALCULATION			
NAME	L	B	AREA
(1)	24.92	11.43	284.83 M. ²
(2)	5.56	2.67	14.84 M. ²
(3)	11.13	10.44	116.19 M. ²
TOTAL			415.86 M. ²

BALCONY PROJECTION			
NAME	L	B	AREA
(1)	3X1.20	3.80	13.68 M. ²
(2)	2X1.20	4.00	9.60 M. ²
(3)	1.20	4.70	5.64 M. ²
(4)	0.61	3.51	2.14 M. ²
TOTAL			31.06 M. ²

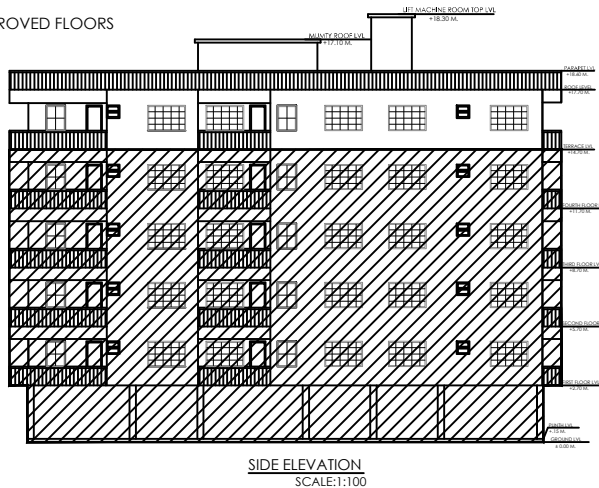
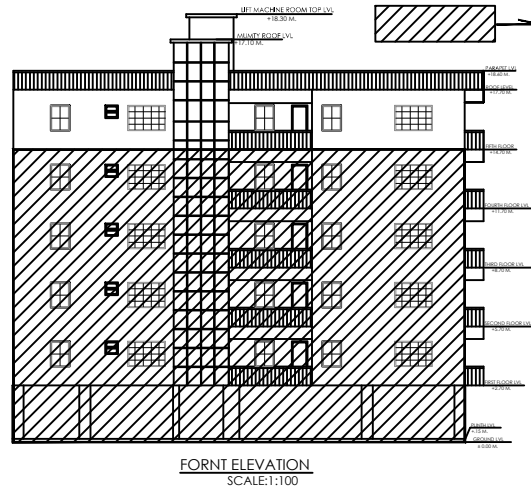
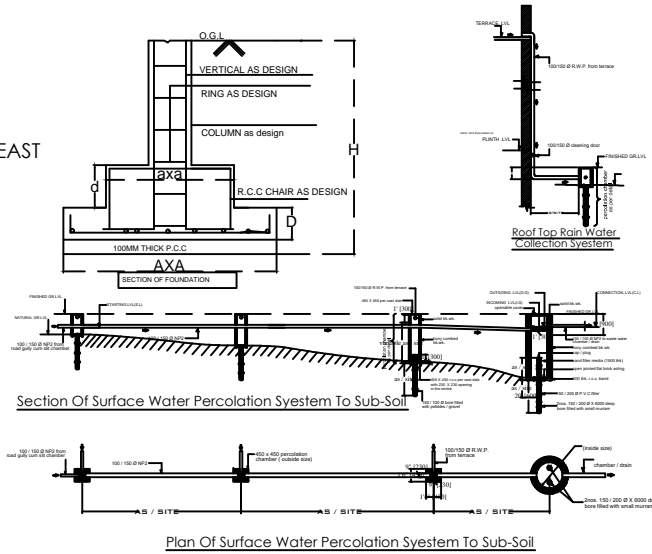
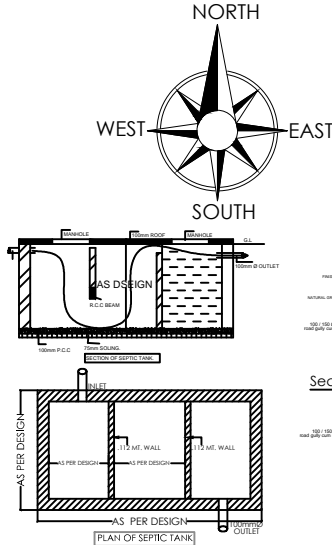
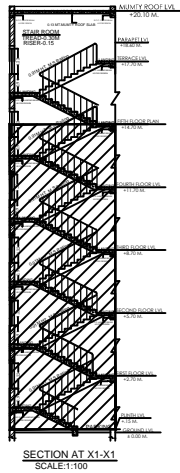
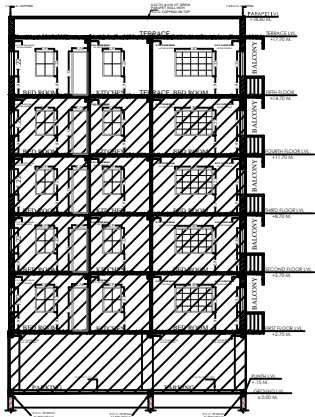
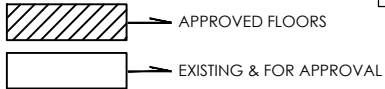
OPEN TERRACE CALCULATION IN FIRST FLOORS			
NAME	L	B	AREA
(1)	6.32	1.68	10.61 M. ²
TOTAL			10.61 M. ²

STAIR & LIFT AREA CALCULATION			
NAME	L	B	AREA
1)	5.79	2.90	16.79 M. ²
3)	1.98	2.13	4.21 M. ²
TOTAL			21.00 M. ²

LIFT WELL CALCULATION			
NAME	L	B	AREA
1)	1.52	1.68	2.55 M. ²
TOTAL			2.55 M. ²

DUCT AREA CALCULATION			
NAME	L	B	AREA
1)	4.88	1.30	6.34 M. ²
2)	2.06	1.22	2.51 M. ²
TOTAL			8.85 M. ²

BLOCK - B																
NO. OF FLOORS	AREA WITH PERMISSIBLE WITHIN SETBACK	AREA IN PROJECTION BEYOND PERMISSIBLE WITHIN SETBACK		TOTAL COVERED AREA	DEDUCTIONS								NET AREA FOR F.A.R.	OCCUPANCY OR USE PROPOSED	REMARKS	
		CURBOARD	BALCONY + PROJECTION		LIFT WELL	VOID	DUCT	FIRE STAIR	PARKING IF PERMISSIBLE	OTHER IF PERMISSIBLE	TOTAL DEDUCTION					
GROUND FLOOR	415.86	X	X	415.86	X	X	X	X	X	X	X	X	394.86	21.00 M. ²	PARKING	
1ST. FLOOR	415.86	X	31.06	446.92	2.55	X	8.85	X	X	X	X	X	22.01	424.91 M. ²	RESIDENTIAL	
2ND FLOOR	405.25	X	31.06	436.31	2.55	X	8.85	X	X	X	X	X	11.40	424.91 M. ²	RESIDENTIAL	
3RD FLOOR	405.25	X	31.06	436.31	2.55	X	8.85	X	X	X	X	X	11.40	424.91 M. ²	RESIDENTIAL	
4TH FLOOR	405.25	X	31.06	436.31	2.55	X	8.85	X	X	X	X	X	11.40	424.91 M. ²	RESIDENTIAL	
5TH FLOOR	405.25	X	31.06	436.31	2.55	X	8.85	X	X	X	X	X	11.40	424.91 M. ²	RESIDENTIAL	
TOTAL	2452.72 M. ²	X	155.30 M. ²	2608.02 M. ²	10.20 M. ²	X	35.40 M. ²	X	394.86 M. ²	10.61 M. ²	462.47 M. ²		2145.55 M. ²			



SCHEDULE OF DOOR & WINDOW				
TYPE	WIDTH	HT.	SILL	DESCRIPTION
D	1.07	2.13	0.00	WOODEN FLUSH DOOR
D1	0.91	2.13	0.00	WOODEN FLUSH DOOR
D2	0.76	2.13	0.00	WOODEN FLUSH DOOR
W	1.83	1.22	0.91	GLAZED WINDOW
W1	1.37	1.22	0.91	GLAZED WINDOW
W2	0.91	1.22	0.91	GLAZED WINDOW
V	0.61	0.61	1.52	GLAZED VENTILATOR

FIRE PROTECTION INDEX	
⊙	WET RISER CUM DOWN COMER
⊙	FIRE CALL POINT
⊙	HYDRANT OUTLET
⊙	HOSE REEL HOSE
⊙	FIRE SERVICE INLET
⊙	HOOTER
⊙	AREA PROTECTED BY AUTOMATIC DCP EXTINGUISHER
⊙	HOSE BOX WITH DELIVERY HOSE & BRANCH
⊙	AREA PROTECTED WITH AUTOMATIC SPRINKLES
⊙	AREA PROTECTED WITH SMOKE DETECTORS WITH CONTROL PANEL

EXISTING FIFTH FLOOR APPROVAL OF BLOCK -B FOR
M/S KAMDHENU CITY HOME BUILDERS PVT.LTD
DIRECTOR

MR. PARAMJIT SINGH SANDHU
S/O MR. HARNEK SINGH SANDHU

DETAILS OF PLOT :-

PLOT NO :- 1524 & KHATA NO :- 178
PLOT NO :- 1526 & KHATA NO :- 178
PLOT NO :- 1528 & KHATA NO :- 178
PLOT NO :- 1530 & KHATA NO :- 178
PLOT NO :- 1525 & KHATA NO :- 182
PLOT NO :- 1527 & KHATA NO :- 182
PLOT NO :- 1531 & KHATA NO :- 182
MOUZA :- KULLIPTANGA
THANA NO:- 130
WARD NO:-17 , P.S:- ADITYAPUR
DIST :- SERAIKELA KHARSAWAN

CONTENTS :-

- * FRONT ELEVATION
- * SIDE ELEVATION
- * SCHEDULE OF DRAINAGE PLAN
- * SCHEDULE OF DOOR & WINDOW
- * SECTION "Y1-Y1"
- * SECTION "X1-X1"
- * CALCULATION
- * GROUND COVERAGE

SH. NO 5/5

PLANNER

BLOCK - B