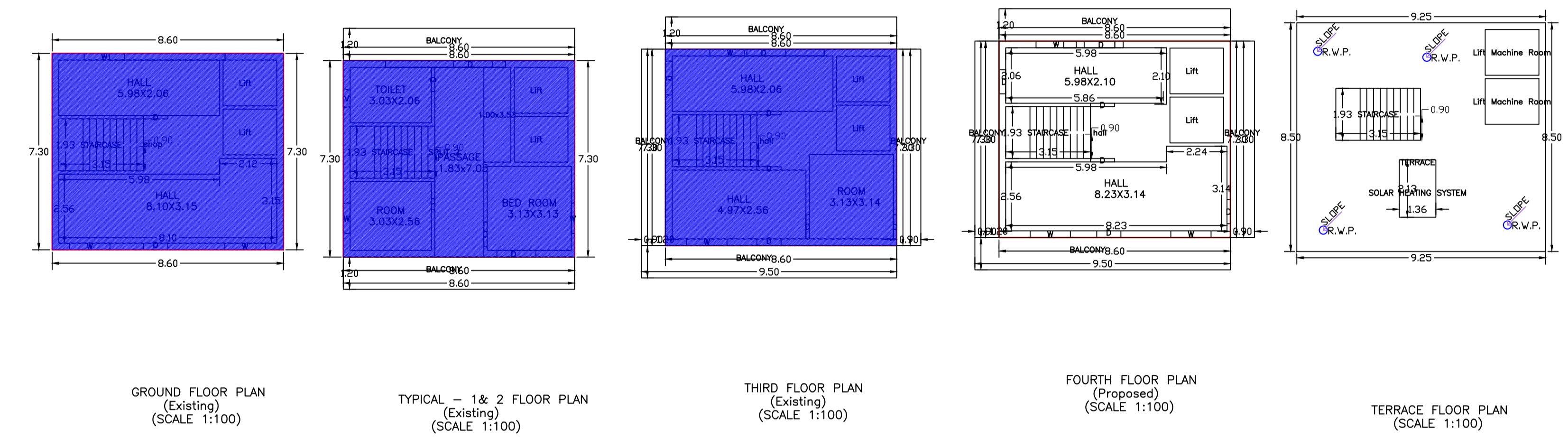
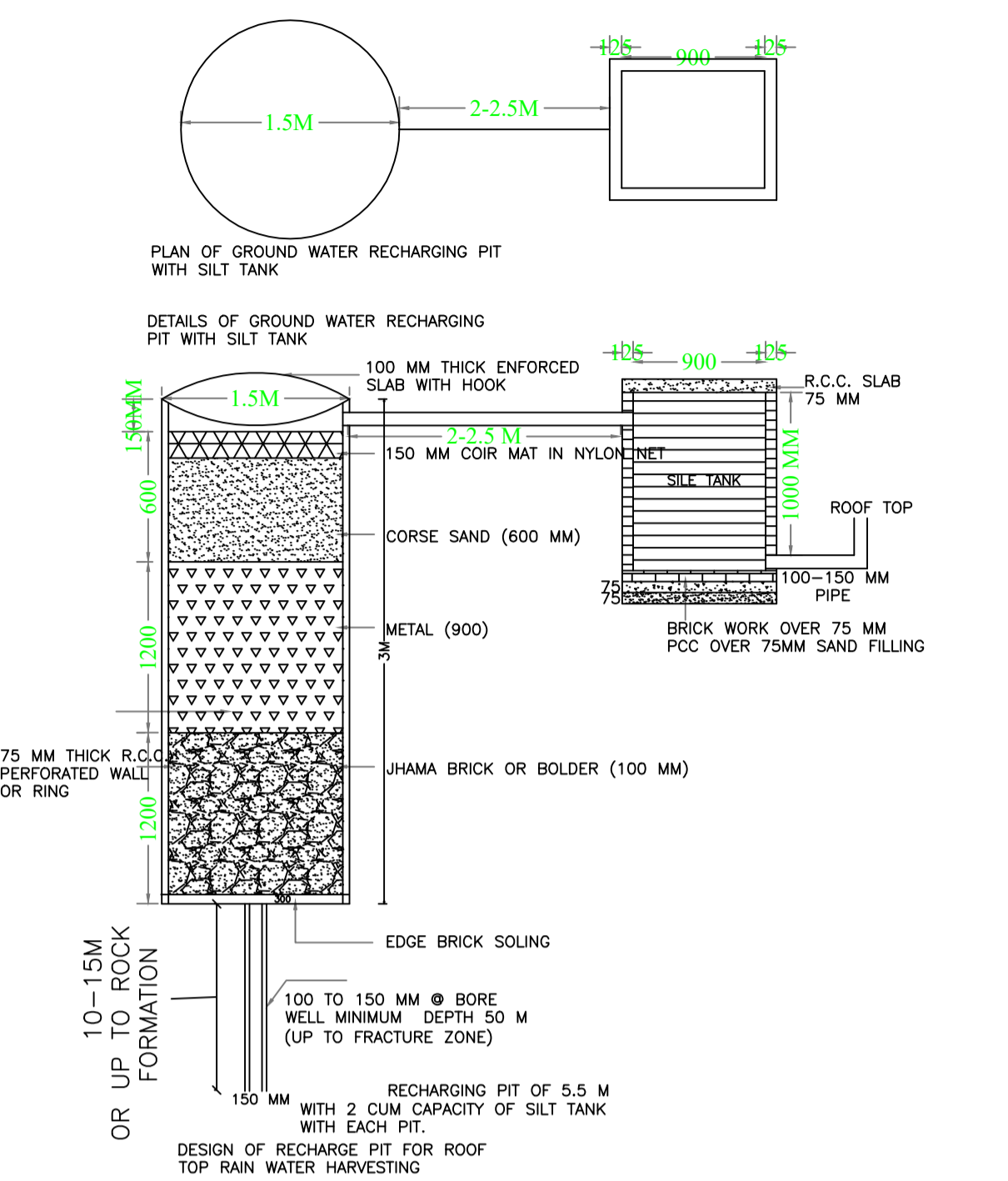
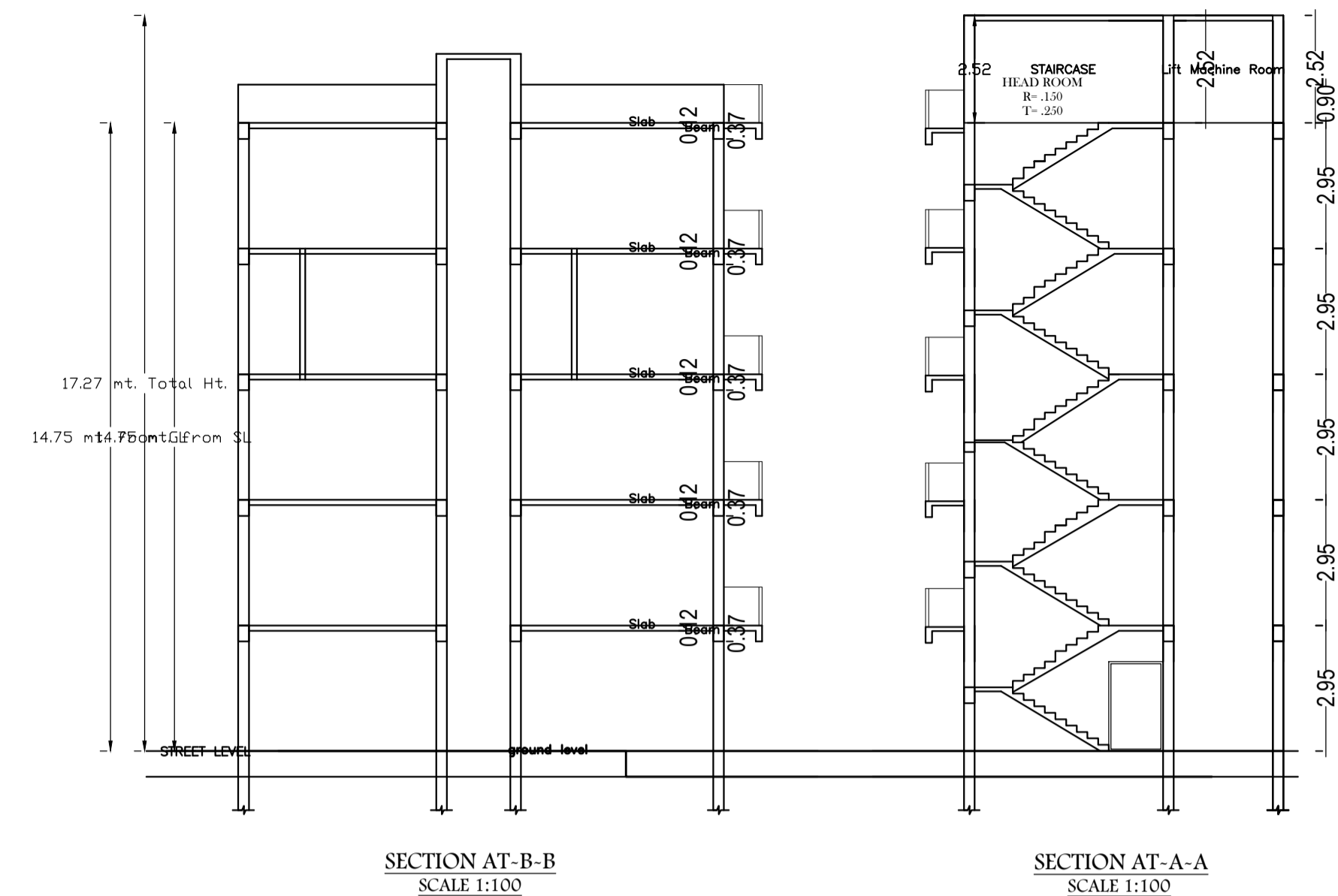


Proposal Basic Information

Proposal File No.	GUNPC/BP/0084/W13/2023
Owner Name	NIPRA TEJASHWI
Khata No	291,370
Plot No	564,416,565
Village Name	Chelar
Use	Mixed
SubUse	Resi+Comm



FAR & Tenement Details (Table 4c-1)

Building	No. of Same Bldg	Total Built Up Area (Sq.mt.)	Existing Built Up Area (Sq.mt.)	Proposed Built Up Area (Sq.mt.)	Deductions (Area in Sq.mt.)	Existing FAR Area (Sq.mt.)	Proposed FAR Area (Sq.mt.)	Total FAR Area (Sq.mt.)	Total Consumed Additional FAR Area (Sq.mt.)	Trent (No.)
A (NIPRA)	1	424.90	289.19	135.71	27.12	55.50	268.85	73.43	342.28	05
Grand Total	1	424.90	289.19	135.71	27.12	55.50	268.85	73.43	342.28	05

COLOR INDEX

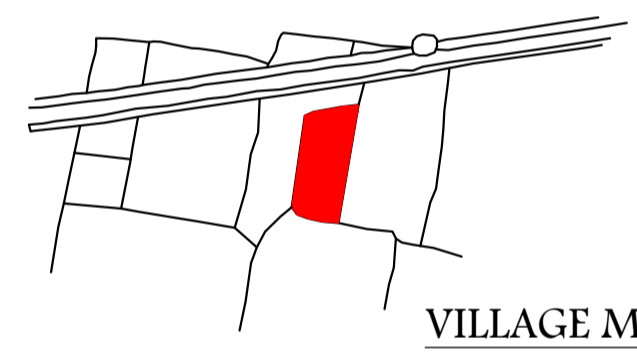
PLOT BOUNDARY	Black
ABUTTING ROAD	Red
PROPOSED CONSTRUCTION	Green
COMMON PLOT	Blue
ROAD WIDENING AREA	Yellow
EXISTING (To be retained)	Orange
EXISTING (To be demolished)	Purple

Required Parking (Table 7a)

Building Name	Type	SubUse	Area (Sq.mt.)	Units	Car	TwoWheeler
A (NIPRA)	Commercial	ResComm	>0	100	87.35	1
Total	-	-	-	-	1	1

Parking Check (Table 7b)

Vehicle Type	Reqd. No.	Area	Prop. No.	Area
Car	-	-	1	12.50
Total Car	1	12.50	1	12.50
TwoWheeler	-	-	2	4.00
Total TwoWheeler	2	4.00	2	4.00
Total	3	16.50	3	20.50



Building USE/SUBUSE Details

Building Name	Building Use	Building SubUse	Building Structure
A (NIPRA)	Commercial	ResComm Bldg	Non-Highrise

SCHEDULE OF DOOR:

BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
A (NIPRA)	D	0.90	2.10	16
A (NIPRA)	D	1.05	2.10	02
A (NIPRA)	D	1.26	2.10	01
A (NIPRA)	D	1.45	2.10	06

SCHEDULE OF WINDOW/VENTILATION:

BUILDING NAME	NAME	LENGTH	HEIGHT	NOS
A (NIPRA)	V	0.64	0.60	02
A (NIPRA)	W	1.13	1.20	04
A (NIPRA)	W	1.27	1.20	01
A (NIPRA)	W	1.50	1.20	07

UnitBUA Table for Building :A (NIPRA)

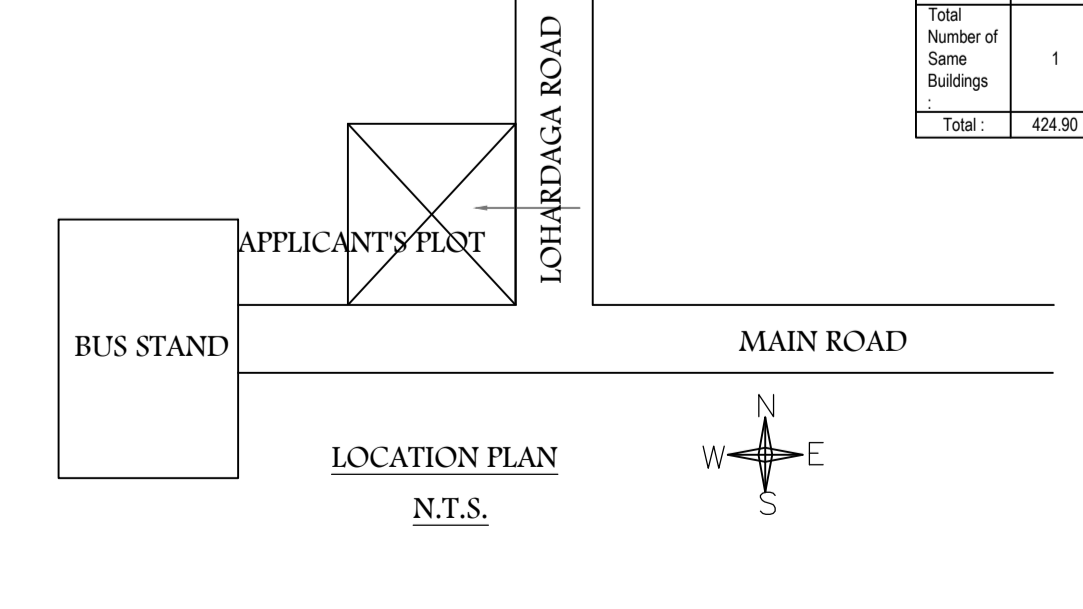
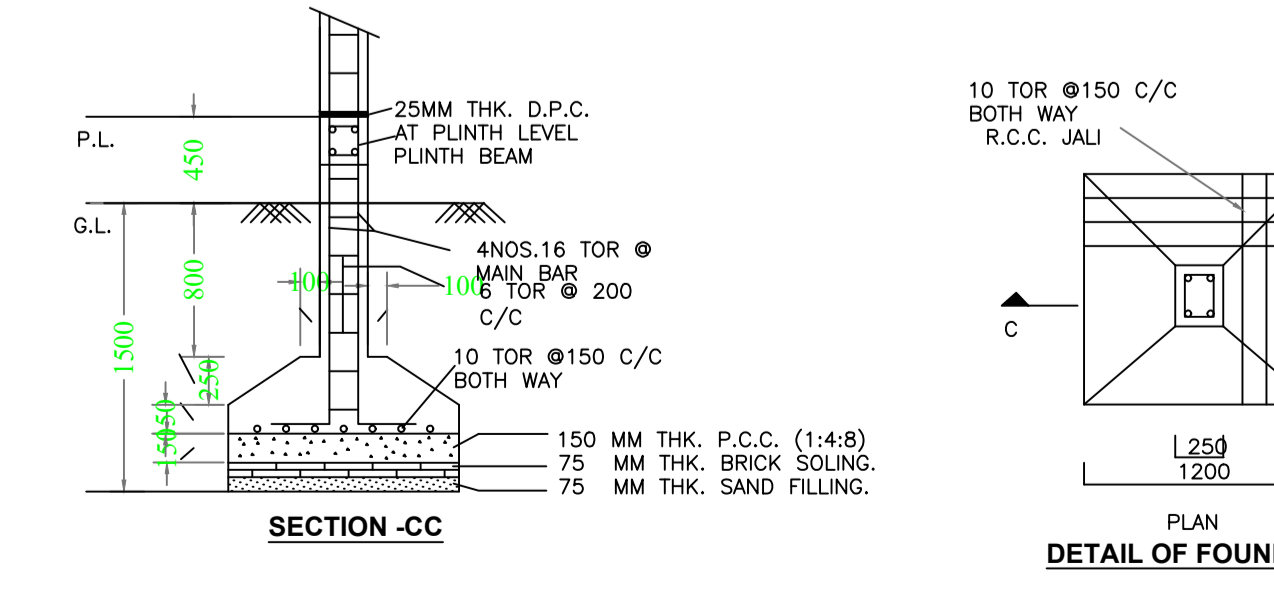
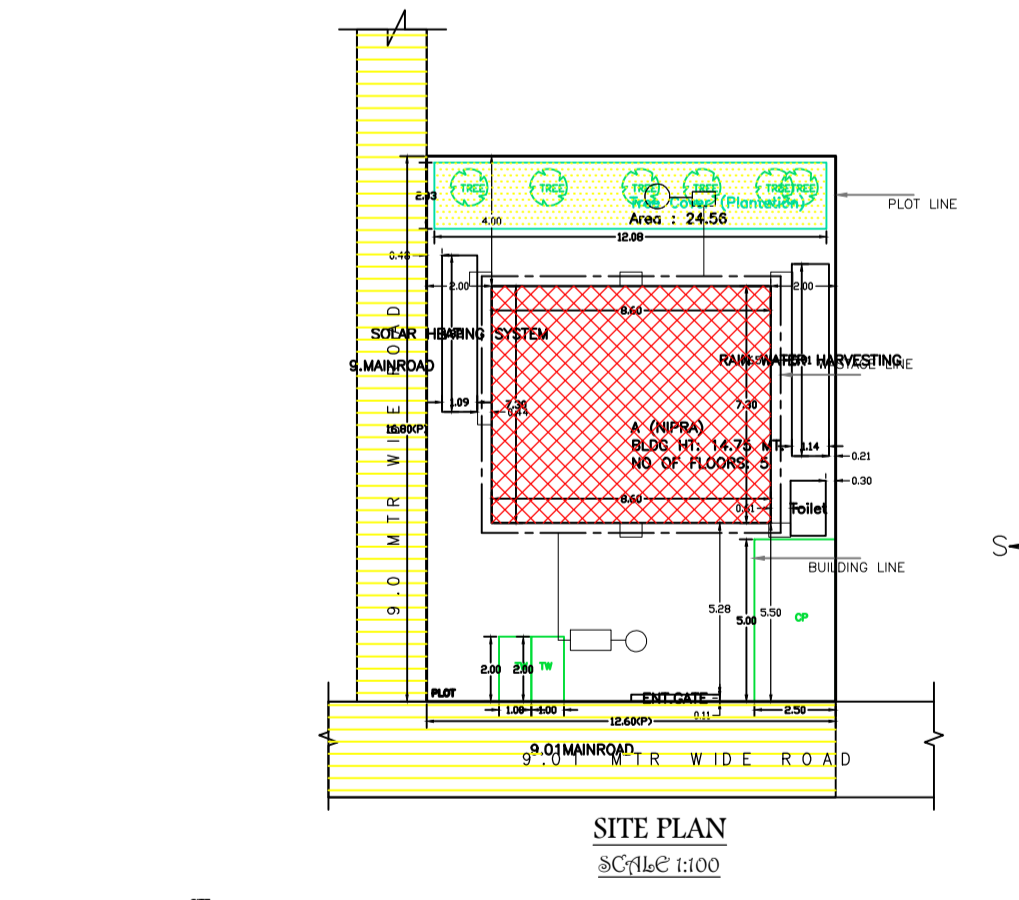
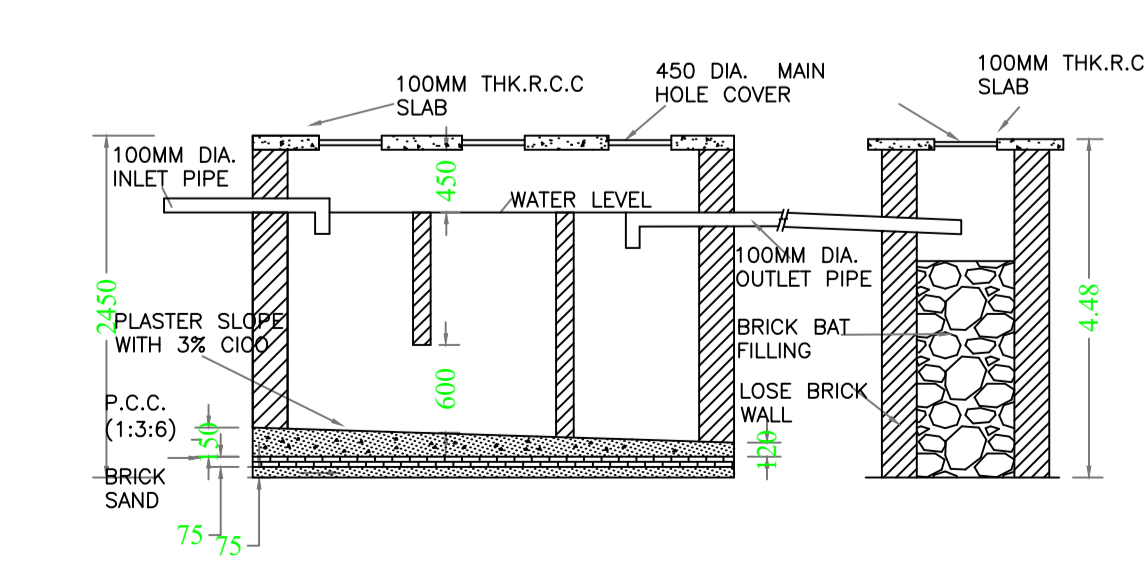
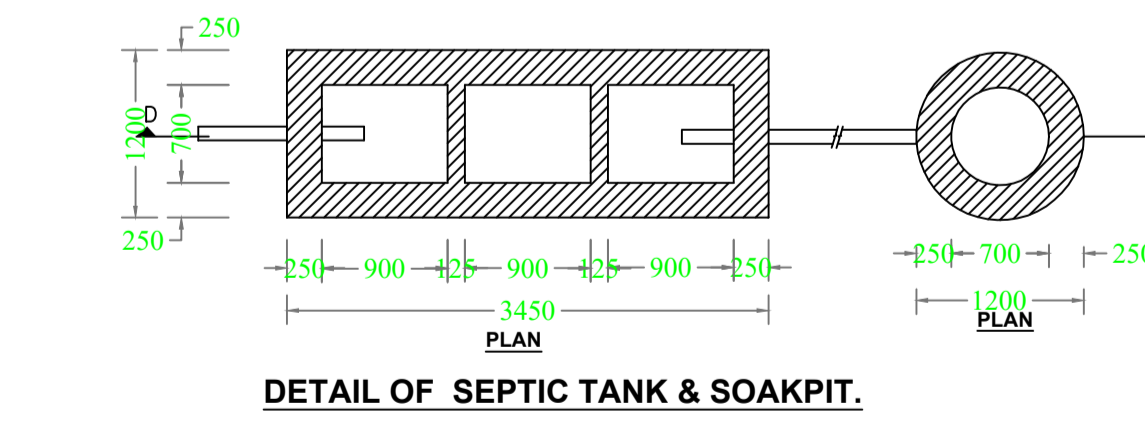
FLOOR	Name	UnitBUA Type	Entity Type	UnitBUA Area (Sq.mt.)	Carpet Area (Sq.mt.)	No. of Rooms	No. of Tenement
GROUND FLOOR PLAN	shop	SHOP	Existing	56.00	54.92	2	1
TYPICAL - 1& 2 FLOOR PLAN	FLAT	FLAT	Existing	76.64	54.88	4	2
THIRD FLOOR PLAN	hall	SHOP	Existing	90.86	55.13	3	1
FOURTH FLOOR PLAN	hall	SHOP	Proposed	90.86	55.52	2	1
Total	-	-	-	390.99	275.34	15	5

Balcony Calculations Table

FLOOR	SIZE	AREA	TOTAL AREA
TYPICAL - 1& 2 FLOOR PLAN	1.20 X 8.60 X 2 X 2	41.28	41.28
THIRD FLOOR PLAN	0.90 X 7.30 X 2 X 1	13.14	34.86
	1.20 X 9.50 X 1 X 1	11.40	
	1.20 X 8.60 X 1 X 1	10.32	
FOURTH FLOOR PLAN	0.90 X 7.30 X 2 X 1	13.14	34.86
	1.20 X 9.50 X 1 X 1	11.40	
	1.20 X 8.60 X 1 X 1	10.32	
Total	-	-	111.00

Buildingwise Floor FAR Details

Floor Name	Building Name A (NIPRA)		Total	
	Proposed Built Up Area (Sq.mt.)	Existing Built Up Area (Sq.mt.)	Total Proposed Built Up Area (Sq.mt.)	Total Existing Built Up Area (Sq.mt.)
Ground Floor	0.00	62.78	0.00	62.78
First Floor	10.32	73.10	10.32	73.10
Second Floor	10.32	73.10	10.32	73.10
Third Floor	17.43	80.21	17.43	80.21
Fourth Floor	97.64	0.00	97.64	0.00
Terrace Floor	0.00	0.00	0.00	0.00
Total	135.71	289.19	135.71	289.19



AREA STATEMENT GUMLA NAGAR PARISHAD

VERSION NO: 1.0.70
VERSION DATE: 16/10/2020

PROJECT DETAIL:
Region: JHARKHAND URBAN LOCAL BODIES
District: GUMLA
Authority: GUMLA NAGAR PARISHAD
Inward No: GUNPC/BP/0084/W13/2023
Application Type: General Proposal
Project Type: Building Permission
Nature of Development: Addition or Alteration
Location of Development Area: Old Area

Plot Use: Mixed
Plot SubUse: Resi+Comm
PlotNearby/Religious/Structure: NA
Plot/SubPlot No: 564,416,565
North: -
South: -
East: -
West: -

AREA DETAILS:

AREA OF PLOT (Minimum)	(A)	SQ.MT.	211.68
NET AREA OF PLOT (Gross Plot Area - Deduction from Gross Plot Area)	(A-Deductions)		211.68
Deduction for Balance Plot Area (from Gross Plot Area)			24.56
Common Plot			24.56
BALANCE AREA OF PLOT (Net Plot Area - Recreational/Amenity space)	(A-Deductions)		187.12
PLOT AREA FOR COVERAGE (Net Plot Area)	(A-Deductions)		211.68
Plot Area for FAR (Net Plot Area + Road Widening Area)	(A-Deductions)		211.68

COVERAGE CHECK

Permissible Coverage area (60.00 %)	127.01
Proposed Coverage Area (29.66 %)	62.78
Total Prop. Coverage Area (29.66 %)	62.78
Balance coverage area (30.34 %)	64.23

FAR CHECK

Perm. FAR Area (2.000)	423.36
Total Perm. FAR area	423.36
Residential FAR	132.63
Commercial FAR	209.63
Proposed FAR Area	342.27
Total Proposed FAR Area	342.27
Consumed FAR (Factor)	1.62
Balance FAR Area	81.09

BUILT UP AREA CHECK

Total Proposed BuiltUp Area	424.90
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ARCHITECT (Regd) DEEPAK DIWAN
ENGINEER (Regd)
SUPERVISOR (Regd) NIPRA TEJASHWI
OWNER (Regd)

DEVELOPMENT AUTHORITY LOCAL BODY

LTP NAME AND SIGNATURE DEEPAK DIWAN GUNPC/ARC/0003/2017

STRUCTURAL ENG'S NAME AND SIGNATURE

BUILDER NAME AND SIGNATURE

DIGITAL SIGNATURE